

PLANNING COMMISSION MEETING

City of Gardner, Kansas
Tuesday, November 19, 2019
7 p.m.
Gardner City Hall
120 E. Main Street

CALL TO ORDER

The meeting of the Gardner Planning Commission was called to order at 7:00 p.m. on Tuesday, November 19, 2019, by Chairman Scott Boden.

PLEDGE OF ALLEGIANCE

Chairman Boden led the Pledge of Allegiance.

ROLL CALL

Commissioners present:

Chairman Boden
Commissioner Ford
Commissioner Gardenhire
Commissioner Meder
Commissioner Roberts
Commissioner Simmons-Lee

Commissioners Absent:

Commissioner McNeer

Staff members present:

Larry Powell, Director, Business & Economic Development
Kelly Drake Woodward, Chief Planner
Michelle Leininger, Principal Planner
Robert Case, Planner
Kristie Hatley, Planning Technician

There were four members of the public in attendance.

CONSENT AGENDA

- 1. Approval of the minutes as written for the meeting on October 22, 2019.**

Motion made by Gardenhire and seconded by Ford.

Motion passed 6-0, 1-absent

REGULAR AGENDA

- 1. TALLGRASS PHASE I**

Located at the northwest corner of University Drive and Moonlight Road.

- a. **FP-19-05:** Consider a final plat for Tallgrass, 1st Plat, a 2 lot multi-family residential subdivision.
- b. **FDP-19-03:** Consider a final development plan for Tallgrass Phase I, which includes 184 apartment units in 10 buildings, a clubhouse building and maintenance building.

Ms. Michelle Leininger, Principal Planner, presented the final plat first for discussion and action prior to presenting the final development plan. The first phase of the development will be located along University Drive between Gretna Street and Moonlight Road. The developer will be constructing Evergreen Street and extending Gretna Street to their intersection. Sidewalks will be constructed along all new streets and a trail will be constructed along the west side of Moonlight Road. The final plat was found by staff to be consistent with the preliminary plat and the project is consistent with the housing mix, "New Residential Growth" plan, connectivity and open space preservation and conservation goals of the Comprehensive Plan.

The applicant was present to answer questions.

COMMISSION DISCUSSION

Mr. Larry Powell, Director, stated that the payment of excise tax would need to be researched and resolved at a later date. Excise tax is levied with the act of platting property in the City, however the Code authorizes a credit for projects involving a benefit district for construction of a major street when the square foot assessments to be levied upon the land equal at least the tax rate. This provision is implemented by the Director with appeals going to the City Council. This was just an update for the Commission on an issue that came up after the publication of the staff report.

Motion made after review of application FP-19-05, a final plat Tallgrass, 1st Phase, a portion of tax Id's CP94500000 0T0C, CP94500000 0T0D, and final plat document dated October 28, 2019, and staff report dated November 19, 2019, the Planning Commission approves the application as proposed, provided the following conditions are met:

1. **Prior to the issuance of a building permit, the application shall obtain approval from the Johnson County Board of Commissioners.**
2. **Prior to the Mayor signing an approved recordable plat, the applicable excise tax shall be paid to the City.**
3. **The construction plans for any utilities, infrastructure, or public facilities shall meet all technical specifications and public improvement plans shall be submitted and approved prior to the release of the plat for recording.**
4. **Prior to the release of the final plat for recording, the applicant shall provide a final stormwater management plan and obtain approval from the Public Works Department;**

and recommends the Governing Body accept dedication of right-of-way and easements.

Motion made by Gardenhire and seconded by Meder.

Motion passed 6-0.

Ms. Leininger continued her presentation of **FDP-19-03**, a project that includes 10 apartment structures with a total of 184 units, 5 garage structures, clubhouse with a swimming pool, a mail house, trash compactor enclosure, and a maintenance building. Staff found this final development plan consistent with the preliminary development plan and the site capable of accommodating all of the buildings, uses and site design elements. The architecture and materials would provide for quality buildings and the overall design would be compatible to the context considering the location near residential and commercial properties. There was one deviation request as follows:

Plant Specifications Standard: Turf: All proposed or required turf areas shall be sodded.

Proposed: Applicant proposed sod be placed between the building fronts and parking lot sidewalks, up to 20' away from the building sides and rears and along any curbs or sidewalks that had yard drainage flowing toward the walks or curbs. The remaining areas would be hydro-seeded. The applicant would irrigate areas surrounding and adjacent to all buildings and constructed amenities. They had not anticipated irrigating open spaces, including civic spaces and were requesting approval of hydro-seeding those areas. They felt the sizable amount of green space made sodding those areas impractical because of the watering required of sod.

Staff responded that sites have been required to be sodded both in the current and previous codes because landscaping would stay in place and have a better visual impact to the site. Sod was even more important for residential development, as it is more likely for people to be walking onsite, potentially immediately after it was laid. Regardless of seed or sod, both would need to be watered and maintained. Hydro-seed, while less expensive, would take longer to establish, approximately two or more months before foot traffic was recommended, and weeds were a given. Because sod has a better success rate, staff would recommend maintaining the requirement for turf areas to be sodded and this is a recommended condition of approval. If the Commission wanted to approve a deviation, staff would recommend allowing for hydro-seed lawn in large turf areas only.

COMMISSION DISCUSSION

Commissioner Ford asked for clarification on the hydro-seeding and Ms. Leininger responded.

Commissioner Meder commented she understood the importance of sod within the code and supported it.

Motion made after review of Application FDP-19-03, a final development plan for Tallgrass, 1st Plat dated October 4, 2019, and staff report dated November 19, 2019, the Planning Commission approves the application as proposed, provided the following conditions are met:

- 1. Prior to the issuance of a building permit, a final plat shall be approved by the Planning Commission, with rights-of-way and easements accepted by the Governing Body, excise tax shall be paid and the plat shall be filed and recorded with Johnson County.**
- 2. Prior to the issuance of a building permit, the application shall obtain approval from the Johnson County Board of Commissioners.**

3. **Prior to the issuance of a building permit, the applicant shall submit a photometric study and lighting plan meeting lighting standards, and shall be reviewed and approved by Staff.**
4. **The applicant shall provide a final stormwater management plan and obtain approval from the Public Works Department.**
5. **Landscaping plans shall be revised to remove the note about hydro-seeding turf areas.**

Motion made by Simmons-Lee and seconded by Ford.

Motion passed 6-0.

2. MAIN STREET MARKETPLACE

FP-19-06: Consider a revised final plat for 4 commercial lots located just west and north of the intersection of Moonlight Road and Main Street (US Hwy 56).

Mr. Robert Case, Planner, presented the final plat for this four lot, 13.407 acre development. He stated there were multiple owners of the site which was surrounded by a combination of single and multi-family residential and commercial uses. A majority of the land that made up Lots 1 and 2, located on the west side of the development, had never been platted. Lots 3 and 4, located on the east side of the subdivision, were part of a previously platted development. In 2018, a preliminary plat for this site along with an additional parcel was approved by the Planning Commission, Governing Body, County Airport Board, and Johnson County Board of County Commissioners but the final plat was never recorded. All utilities are available to the site along E Main Street, E Lincoln Lane and Moonlight Road, and the public improvement plans had been approved by the City Public Works Department. As part of the proposed final plat, rights-of-way are being dedicated along E Main Street for highway improvements and a new dedication and re-dedication are being proposed for Lincoln Lane.

Staff found the plat consistent with the *Land Development Code* and *Gardner Main Street Corridor Plan*. A stormwater management plan was approved by the City and a traffic impact study was approved by both the City and KDOT. No utility extensions were proposed and an excise tax credit would be granted for public improvements. Excise tax would be assessed only on those portions of the development currently unplatted, but for this project, Section 17.04.060 D(8) would be in effect. This Section would allow for a credit on the excise tax to be granted by the City for land that is part of a developer's agreement with the City to pay for the construction of improvements through the creation of a benefit district, provided that the square foot assessments to be levied upon the land would equal at least the tax rate. The developer will be making improvements to intersections along E Main Street in an amount that is greater than the estimated excise tax and therefore will be granted a credit. Staff recommended approval of the final plat and sending a recommendation to the Governing Body to accept the dedication of rights-of-way and easements as outlined in the suggested motion.

COMMISSION DISCUSSION:

No discussed ensued.

Motion made after review of Application FP-19-06, a final plat for Main Street Market Place, Parcel ID's CP14400000 0001, CP65500000 0001C, CF221424-4009, CF221424-4037, CP65500000 0001G, CP99000000-0047, CP35500000-0001, located at the northwest corner of S. Moonlight Road and E. Main Street (US Highway 56), a staff report dated November 19, 2019 and a final plat dated November 12, 2019, the Planning Commission approves the application and recommends the Governing Body accept dedication of rights-of-way and easements.

Motion made by Ford and seconded by Meder.

Motion passed 6-0.

DISCUSSION ITEMS

Commissioner Tory Roberts announced that effective at the conclusion of tonight's meeting, she would resign from the Planning Commission and the Board of Zoning Appeals. She will be serving on the City Council starting in January 2020.

ADJOURNMENT

Motion to adjourn made by Ford and seconded by Gardenhire.

Motion passed 6-0.

Meeting adjourned at 7:30 pm.

PROJECT NUMBER / TITLE: FDP-19-04: Final development plan for Symphony Farms Amenities Area

PROCESS INFORMATION

Type of Request: Final Development Plan

Date Received: November 22, 2019

APPLICATION INFORMATION

Applicant: Jim Long, Anderson Engineering, Inc.

Owner: Lifestyle Building & Design LLC

Parcel ID: CP84410000 0001 & CP84410000 0002

Location: Northwest Corner of S Kill Creek Road and W 167th Street

REQUESTED ACTION

The applicant has requested approval of a final development plan for the Symphony Farms Amenities area, a subdivision amenities area to include a clubhouse, restroom structure, pool, sport courts, and community garden on property located at the northwest corner of Kill Creek Rd and W 167th St.

EXISTING ZONING AND LAND USE

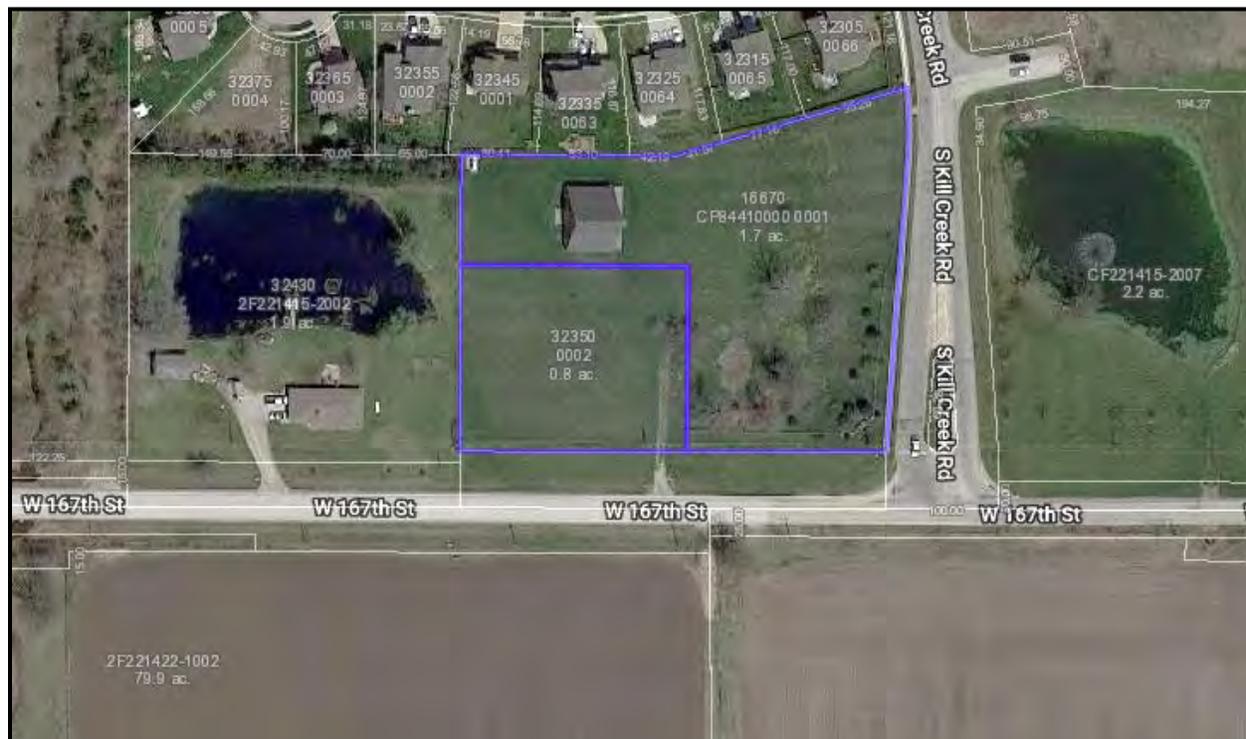
Currently the property is zoned RP-1 (Planned Single-Family Residential) District and has an agricultural use (barn) located on the property.

SURROUNDING ZONING AND LAND USE

Zoning	Use(s)
North of subject property	
R-1 (Single-Family Residential) District	Household Living-Single-Family Residences
East of subject property	
R-1 District	Vacant property with a pond
South of subject property	
County RUR (Rural, Agricultural uses and single family dwellings) District	Crop Agriculture
West of subject property	
County RUR District	Household Living-Single-Family Residences

EXISTING CONDITIONS

Currently the subject properties are neighborhood open space. The barn onsite is periodically utilized for gatherings though this use will discontinue.



BACKGROUND / HISTORY

The properties were annexed into the city in June 2003 and were rezoned from A (Agriculture) District to R-1 (Single-Family Residential) District in July 2003. These properties were approved as part of a preliminary plat for Symphony Farms (PP-05-09) in September of 2005 and for a final plat for Symphony Farms III (FP-06-17) in August of 2006. The final plat included two lots, the larger lot was for an amenities area for the Symphony Farms neighborhood and the second lot was for a potential public safety facility and dedicated to the City. In 2007 a site plan for the amenities site (SP-07-06) was approved. The site was not developed and the site plan is now expired. The public safety facility lot was transferred to Johnson County Fire District #1 when the city relinquished the fire and medical duties to the Fire District. This site has been determined to be too small for a fire station and the site has remained undeveloped.

At the September 2019 Planning Commission meeting, the Commission approved a site plan (SP-19-19-04) for this site for a pool, restroom facility and parking lot on this site. The applicant has submitted administrative plat (AP-19-12) to combine the properties and will be vacating the easements that are unnecessary for the new configuration to the Johnson County RTA for recording however it has not been finalized at the time of this staff report. In order to move forward with the overall plans for the amenities area as originally proposed, the property had to be rezoned to a planned district. The rezoning from R-1 (Single-Family Residential) District to RP-1 (Planned Single-Family Residential) District (Z-19-04) with an associated preliminary development plan (PDP-19-04) was approved by Council at their November 18, 2019 meeting.

CONSISTENCY WITH COMPREHENSIVE PLAN

The Comprehensive Plan identifies the property as low-density residential uses with open space to the west. While this is not a residential use, it is a private accessory amenity for the Symphony Farms residential development. This is a customary accessory use and staff finds that the site plan for an amenity area is consistent with the Comprehensive Plan.

STAFF ANALYSIS – FINAL DEVELOPMENT PLAN

The intent of the planned zoning districts is to encourage innovation in development, unique and distinctive places, and efficient use of land, buildings and infrastructure. Specifically, planned zoning and development plans to support the flexibility offered through planned zoning should accomplish one or more of the following:

1. Preservation of distinct natural features on the land and integration of them into amenities for the project.
2. Reduction in potential environmental impacts from the development, whether through disturbance of land, location of streets and infrastructure or operation of sites and buildings.
3. Create broader community benefits through the better integration of multiple projects, resulting in designs that could not have otherwise been accomplished through the base zoning districts and standards.
4. Improved public realm designs, including streetscapes, open space, civic spaces and the relationship of buildings and sites to those spaces.
5. Creation of unique projects and places that are particularly suited for the planned location based on the characteristics of the land or the context and relationship to surrounding areas.

Departures from the standards associated with all zoning districts may be considered through planned zoning, and approved provided they are based upon a comprehensive and well-integrated development plan for the area. These departures shall not be justified for simply wanting flexibility or deviations from standards based upon a site plan.

A preliminary development plan represents an overall plan for a development to include the specific land uses and their density/intensity, block and lot patterns, building types and scale, design characteristics, and other building and site design elements that reflect the proposed character of the plan. This plan shall have a particular emphasis on how these elements relate to the public realm plan and where transitions between these elements occur at a parcel or block scale, both within the development and in coordination with abutting property. The development plan shall specifically identify where development standards may differ from those otherwise applicable through the base zoning districts and general development requirements of this Code.

A final development plan provides specific details of the portion or entirety of the approved preliminary development plan. This includes elevations, building materials, landscaping and other specific details. The final development plan has the same review criteria as a site plan.

17.03.040 (F) Review Criteria:

1. In general, any final development plan in compliance with all requirements of this Code shall be approved.

Staff Comment: *The final development plan is in compliance with all requirements of the Code with the exception of the two standards that deviations were approved for at the October 2019 meeting. These deviations include a deviation from the front setback from the Small Civic Building type, 20'-50' to 80' and required parking to reduce to 7 onsite parking spaces.*

2. In making a determination of compliance, or for final development plans accompanying any discretionary review or administrative relief, the review body shall consider whether:
 - a. The site is capable of accommodating the buildings, proposed use, access and other site design elements required by the Code and will not negatively impact the function and design of rights-of-way or adjacent property.

Staff Comment: *The site is capable of accommodating the proposed use which includes buildings, and recreational facilities and not negatively impact the function and design of right-of-way or adjacent properties.*

- b. The design and arrangement of buildings and open spaces is consistent with good planning, landscape design and site engineering principles and practices.

Staff Comment: *The design and arrangement of the buildings and open space is consistent with good planning and design. The parking offers safe connections to the pool and clubhouse, the storm water drainage is maintaining support to the adjacent property to the west's pond, landscaping is provided for screening and shade and the site as a whole has a variety of amenities to support many activities for the residence.*

- c. The architecture and building design uses quality materials and the style is appropriate for the context considering the proportion, massing, and scale of different elements of the building.

Staff Comment: *The materials and architecture are good quality and design. The building architecture supports the historic barn existing onsite to create a cohesive theme. The community garden proposes utilizing steel troughs for the planting areas to further the historic farm theme.*

- d. The overall design is compatible to the context considering the location and relationships of other buildings, open spaces, natural features or site design elements.

Staff Comment: *The overall design is compatible to the context with the architectural theme established by the existing barn. The layout maintains many existing large trees and provides for ample open space for different activities.*

- e. Whether any additional site-specific conditions are necessary to meet the intent and design objectives of any of the applicable development standards.

Staff Comment: *No additional site specific conditions are necessary beyond what was provided for on the preliminary development plan.*

3. The application meets the criteria for all other reviews needed to build the project as proposed.

Staff Comment: *The administrative plat combining the two properties will need to be recorded with Johnson County. The document is currently being reviewed by the County but the plat will need to be recorded prior to the issuance of a building permit. A building permit for the clubhouse building will need to be obtained.*

4. The recommendations of professional staff.

Staff Comment: *Staff recommends approval of the final development plan, with the conditions outlined below.*

5. The final development plan is in substantial compliance with the approved preliminary development plan.

Staff Comment: *The final development plan is in substantial compliance with the approved preliminary development plan.*

STAFF ANALYSIS – INFRASTRUCTURE / OTHER

SANITARY SEWER

The City of Gardner is the sanitary sewer provider in this area and an existing manhole is provided at the north property line near the residence. A service line will be constructed from this manhole to the restroom facility.

WATER

The City of Gardner is the water provider in this area and an existing water line runs along the property line, along Kill Creek Road. A service line will be constructed from the existing line to the restroom facility.

STORM WATER

Stormwater will be drain through the southwestern portion of the lot and to the pond on the lot to the west of the property.

ELECTRIC

Electric will be extended onto the lot from an existing box located at the northeast corner of the lot. Electric is provided by the City of Gardner.

ROADWAY NETWORK; VEHICULAR ACCESS; SIDEWALKS

No new streets will be added with the proposed site plan. Public sidewalks currently exist along the west side of Kill Creek Road and no new sidewalks are required along W. 167th Street at this time. Access to the site will be through a one-way drive along Kill Creek Road from the two proposed accesses from north to south. A gravel drive exists from W 167th Street to the north, into the property. This will be removed and a new fire only access will be provided further west along W 167th Street. This gravel access will have to have a concrete apron onto the street installed before the gravel portion occurs in order to keep gravel off the street.

The applicant is counting for on-street parking to count towards the parking requirement. Public Works has required that no parking signs be placed on the east side of Kill Creek Rd and parking only be permitted along the west side. This allows for pedestrians to safely access directly to the sidewalk which connects to the site.

FIRE SERVICE

A fire access drive has been provided on the western end of the property for emergency access to the barn and community garden area. This drive is to be gated and only for emergency access.

ACTIONS

Per Section 17.03.010 (G) of the *Gardner Land Development Code*, a review body may take the following actions (or recommend the following actions):

1. Approve the application.
2. Approve the application with conditions or modifications to lessen or mitigate a potential impact from the proposed application.
3. Deny the application.
4. Continue the application to allow further analysis. The continued application shall not be more than 60 days from the original review without consent of the applicant. No application shall be continued more than once by each review body without consent of the applicant.

EFFECT OF DECISION

Final Development Plan – Approval of a final development plan shall authorize the applicant to apply for a building permit and other applicable permits. The Director may approve minor amendments to approved final development plans without the refiling of a new application, but in no event shall the Director approve any change that does not qualify for an administrative site plan, or any change that is different from any condition of approval of the final development plan.

ATTACHMENTS

- I. Final development plan document
- II. Application

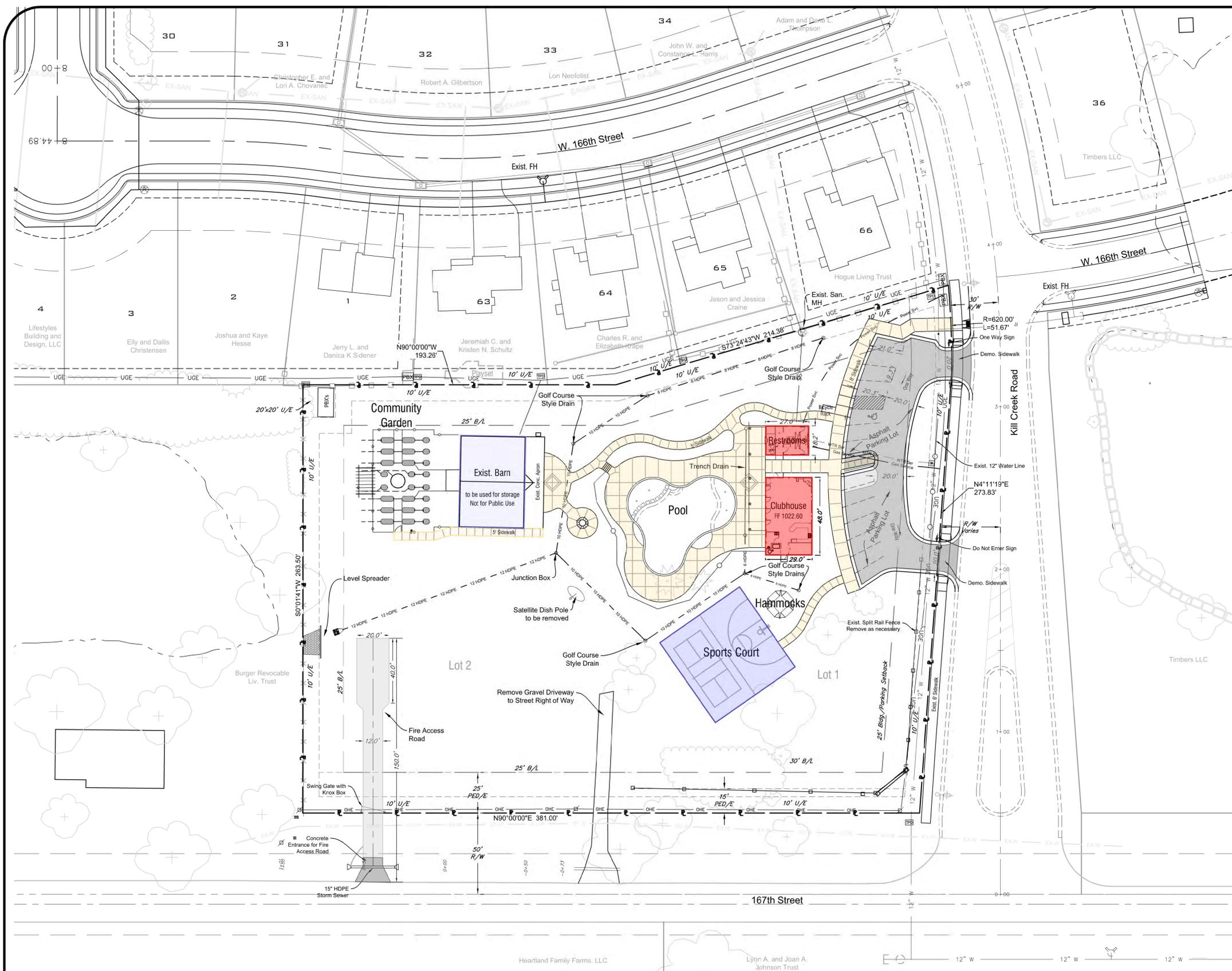
RECOMMENDATION

Staff recommends approval of FDP-19-04 for the final development plan for the Symphony Farms Amenities Area with the conditions outlined below.

Recommended Motion:

After review of application FDP-19-04, a final development plan for Symphony Farms Amenities Area on property located at the northwest corner of Kill Creek Road and W 167th Street (Tax Ids CP84410000 0001 and CP84410000 0002) and final development plan document dated August 16, 2019, and staff report dated January 28, 2020, the Planning Commission approves the application subject to the following conditions:

1. The Administrative Plat shall be recorded prior to the issuance of a building permit.
2. Provide No Parking (R8-3) signs: On the east side of Kill Creek, 100 ft north of 167th St and North of 166th St.
3. Provide No Parking (R8-3) signs: On the west side of Kill Creek, south of 166th St and between the parking lot drives, with an additional “Here to Corner” (R7) sign.



JoCo PROJECT BENCHMARK #638
 PROJECT BENCHMARK: JCPW BM 638
 Bernsten Aluminum Disk stamped BM 638.
 Elev. = 1015.18
 From 167th St & Waverly Rd, go west on
 167th Street 0.8 +/- miles to a box
 headwall, on south side of 167th, on center
 headwall for box

PROJECT BENCHMARK #1
 PROJECT BENCHMARK:
 Manhole Lid - Located at the south
 corner of lots 65 and 66 of Symphony
 Farms
 Rim Elev. = 1019.03

Sheet List Table	
C1	Final Development Plan
C2	Grading Plan and Erosion Control Plan

Owner/Developer
 Lifestyles Building and Design, LLC
 Contact: Jim Humbert
 11237 Nall Avenue, Suite 100
 Leawood, KS 66211
 913-238-6107

Prepared By:
 Anderson Engineering, Inc.
 Contact: Jim Long
 941 W. 141st Terrace, Suite A
 Kansas City, MO 64145
 816-777-0400

ARCHITECT:
 Craig Luebbert Architecture
 Contact: Craig Luebbert
 24 NW Chapman Road, Suite A
 Lee's Summit, MO 64063
 816-536-3472

LANDSCAPE ARCHITECT:
 Meter Landscape Architecture, LLC
 Contact: Jason Meier
 15245 Metcalf Ave.
 Overland Park, KS 66223
 913-787-2817

LEGAL DESCRIPTION:
 Lots 1 and 2, Symphony Farms III, subdivision of land in the City
 of Gardner, Johnson County, Kansas.

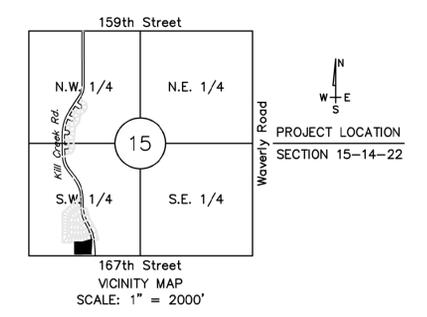
Site Information:
 Current Zoning: R-1
 Proposed Zoning: RP-1

Lot 1 Area: 75,767 ft², 1.74 acres
 Lot 2 Area: 33,529 ft², 0.77 acres
 Total: 109,296 ft², 2.51 acres

Clubhouse: Open/Civic space
 Parking Calculations:
 Clubhouse Active Space: 894 ft² = 2.2 spaces
 Pool, Pool Deck, Garden &
 Sport Court: 13,830 ft² = 13.8
 Passive Space: 33,500 ft² = 3.35 spaces
 Total Spaces Required = 19.4
 Spaces provided = 14 (request deviation)

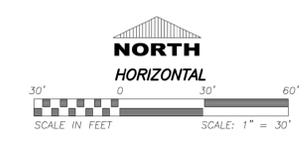
Current Use: Vacant
 Planned Use: Subdivision Amenity Package
 Zoning: R-1
 Parking: 14 stalls (includes 1 Accessible
 Stalls)

Parking Lot/Driveway Material: Asphalt



LEGEND

	900	Proposed Major Contour
	901	Proposed Minor Contour
	900	Existing Major Contour
	901	Existing Major Contour
	Power Svc	Power Service Line
	Gas Service	Gas Service Line
	WTR Ser	Domestic Water Line
	SS	Sanitary Service Line
	EX-SAN	Exist. Sanitary Sewer Main
	OHE	Overhead Power
	EX-W	Existing Water Main
	12" W	Existing 12" Water Main
	Power Pole	
	Water Meter	
	Water Valve	
	Fire Hydrant	



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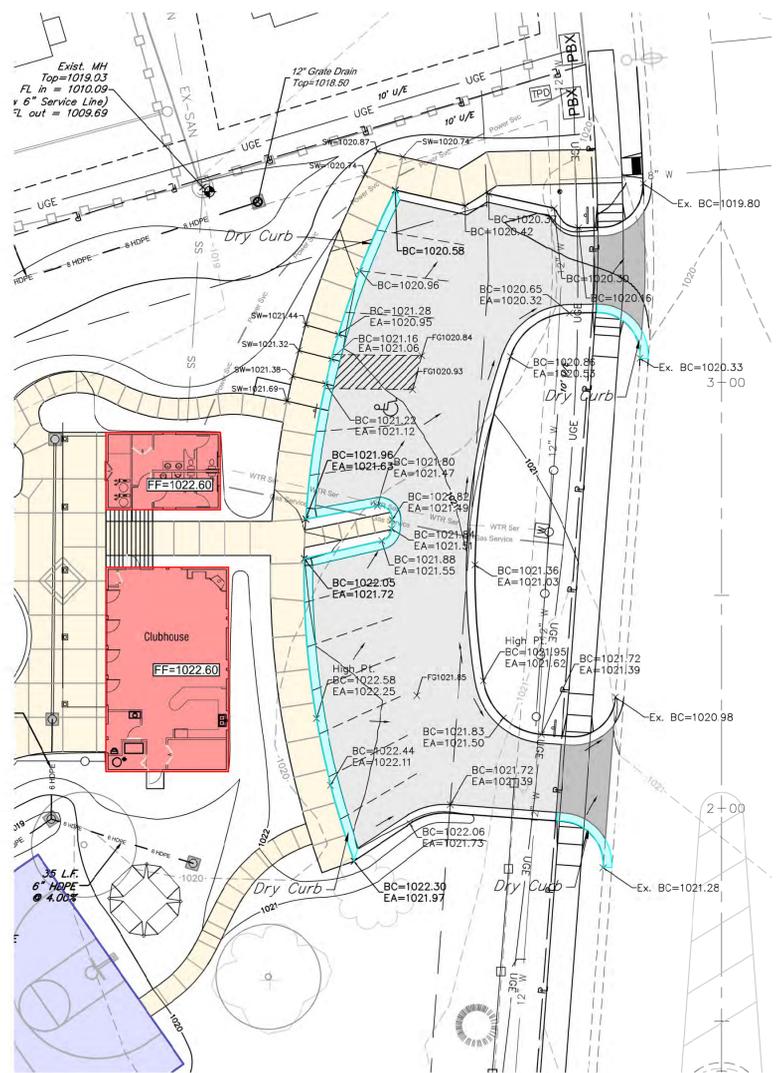
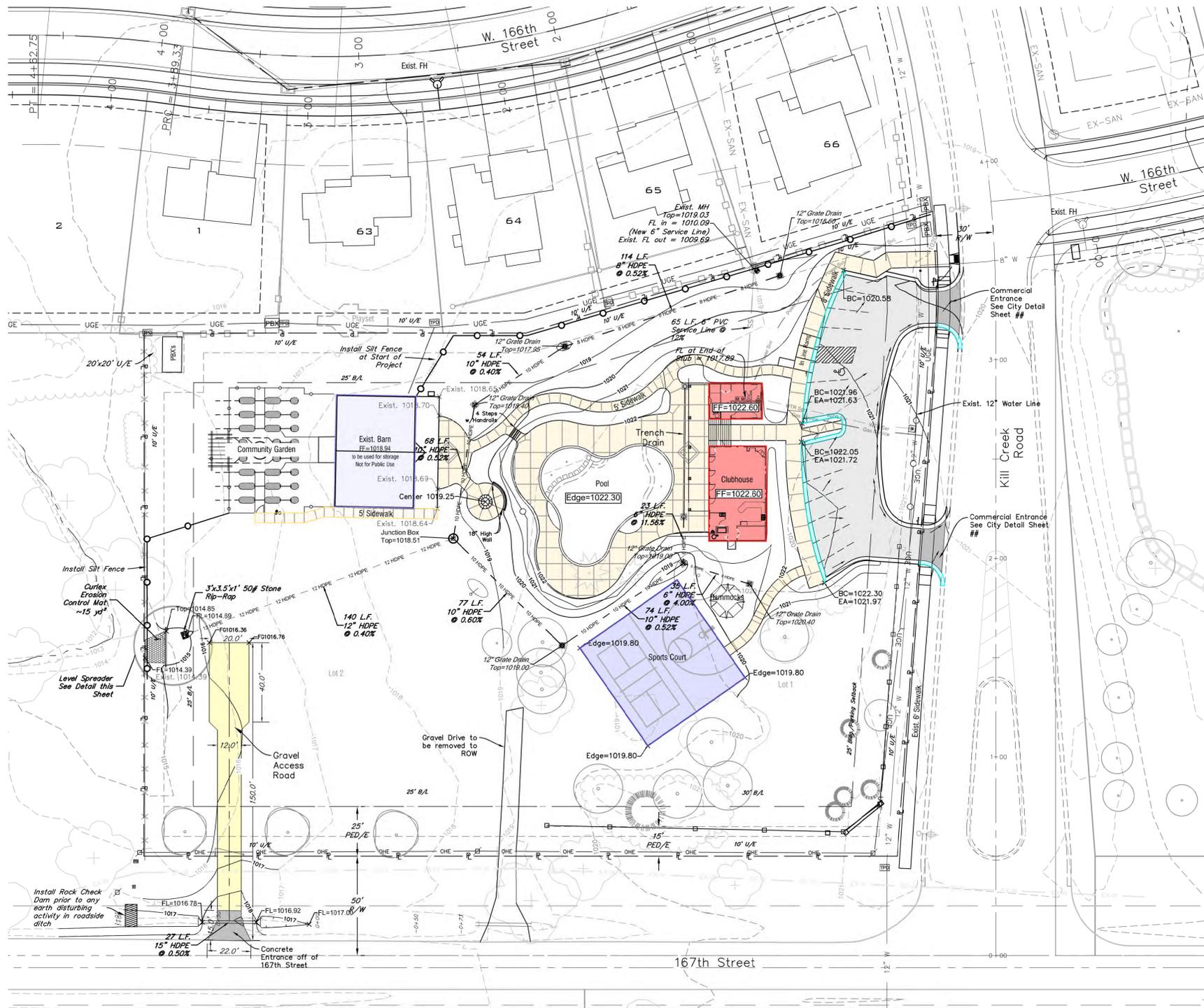
DRAWING INFO.	
NO.	1
DATE	8/16/19
DESCRIPTION	Final Development Plan
DRAWN BY:	JLL
CHECK BY:	JLL
LICENSE NO.	17242
FIELD BOOK:	19KC10040
JOB NUMBER:	19KC10040

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Amenity Area
 Symphony Farms
 167th and Kill Creek Road
 Gardner, Kansas

Final Development Plan

SHEET NUMBER **C1** OF 2



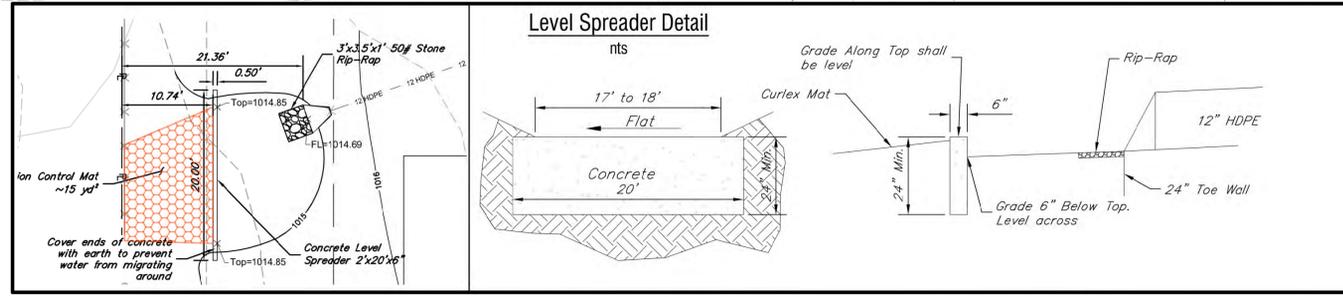
LEGEND

BC 1000	Back of Curb Elevation	900	Proposed Major Contour
EA 1000	Edge of Asphalt/Concrete	901	Proposed Minor Contour
FF 1000	Finish Floor Elevation	900	Existing Minor Contour
FL 1000	Flowline Elevation	901	Existing Major Contour
Top 1000	Top of Structure Elevation		
Edge 1000	Edge of Sport Court or Pool		
1000	Grade Shots		

SILT FENCE	Install per City Detail 73-1.	Power Svc	Power Service Line
DITCH CHECK DAMS	Install per City Detail 73-2	Gas Service	Gas Service Line
		WTR Ser	Domestic Water Line
		SS	Sanitary Service Line
		EX-SAN	Exist. Sanitary Sewer Main
		OHE	Overhead Power
		EX-W	Existing Water Main
		12" W	Existing 12" Water Main

JoCo PROJECT BENCHMARK #638
 PROJECT BENCHMARK: JCPW BM 638
 Bernsten Aluminum Disk stamped BM 638.
 Elev. = 1015.18
 From 167th St & Waverly Rd, go west on 167th Street 0.8 +/- miles to a box headwall, on south side of 167th, on a center headwall for box

PROJECT BENCHMARK #1
 Manhole Lid - Located at the south corner of lots 65 and 66 of Symphony Farms
 Rim Elev. = 1019.03



REVISIONS		DRAWING INFO.			
NO.	DESCRIPTION	BY	DATE	DRAWN BY:	CHECK BY:
1				JLL	JLL
				17242	17242
				8/16/19	8/16/19
				XXXXX	XXXXX
				198C10040	198C10040

DESIGN CRITERIA

DESIGN LOADS: Deflection L/480 Main
 Roof: 25 psf. live Ceiling: 10 psf. live
 10 psf. dead 10 psf. dead

- Soil bearing Capacity - 2000 PSF
- Live loads, dead loads, snow loads, lateral loads, seismic zoning and any specialty loading conditions will need to be confirmed before construction and adjustments to plans made accordingly. See your local building officials for verification of your specific load data, zoning restrictions and site conditions.

CONCRETE AND FOUNDATIONS:

- All foundation walls and slabs on grade shall be 3000 PSI (28-day compressive strength concrete), unless noted otherwise.
- All interior slabs on grade shall bear on 4" compacted granular fill with 6 mil. polyethylene vapor barrier underneath.
- Provide proper expansion and control joints as per local requirements or per General Contractors recommendations.
- Foundation walls are not to be backfilled until properly braced.
- Footing shall extend down to frost (36" below finish grade.)
- Foundation bolts must be anchored to sill plate with 1/2" bolts embedded 7" in concrete walls.

STEEL:

- All structural steel for beams and plates shall comply with ASTM specification A-36.
- All structural steel for steel columns shall comply with ASTM specification A-53 Grade B or A-501.
- All reinforcing steel for concrete shall comply with ASTM specification A-615 Grade 60.
- Provide steel shims in all beam pockets.
- Steel columns are to be 3" I.D. (inside diameter) unless noted otherwise.

FRAMING MEMBERS:

- Unless noted otherwise, all framing lumber shall have the following characteristics:
 Fb = 1,000 psi Fv = 75 psi E = 1,400,000 psi
- Contractor to confirm the size, spacing and stress characteristics of all framing and structural members to meet your local code requirements.
- Hole sizes and locations in GluLam or Laminated Veneered Lumber members are to be confirmed by a professional engineer.
- Any structural or framing members not indicated on the plan are to be sized by contractor.
- Double floor joists under all partition walls, unless noted otherwise.
- All subflooring is assumed to be 3/4" thick.-Glued&Nailed
- All exterior walls are dimensioned to outside of 1/2" rigid insulation.
- All exterior walls are 6" (5 1/2" stud plus), All interior walls are 3 1/2" unless otherwise shown.
- Calculated dimensions take precedence over scaled dimensions.
- All Main level walls are 8'-1 1/8" (9'-1" nom.) high unless otherwise noted or implied.
- All angled walls on floor plans are at 45 degree angle, unless otherwise noted.

FRAMING MEMBERS (continued):

- Any wall 12'-0" high or higher shall be 2x6 and balloon framed.
- Unless noted otherwise, above all openings that are:
 (1) Load bearing and less than or equal to 3 ft. use (2) 2x10
 (2) Load bearing and more than 3 ft. use (2) 2x12 w/1/2" Plywood between.
 (3) Non-load bearing and less than or equal to 6 ft. use (2) 2x8.
 (4) Non-load bearing and more than 6 ft. use (2) 2x12 w/1/2" Plywood between.
 (5) All exterior openings use (2) 2x12 w/1/2" Plywood between.
- All trusses to be engineered by truss manufacturer according to the loading indicated on this plan. (if Applicable)
- All exterior corners shall be braced in each direction with let-in diagonal bracing or plywood.
- Place (1) row of 1" x 3" cross-bridging on all spans over 8'-0" and (2) rows of 1" x 3" cross-bridging on all spans over 16'-0".
- Collar ties are to be spaced 4'-0" o.c.
- All purlins and kickers are to be 2x8's, unless noted otherwise.
- Any hip or valley rafters over a 28'-0" span are to be Laminated Veneer Lumber (L.V.L.).

MISC. NOTES:

- All materials, supplies and equipment to be installed as per manufacturer's specifications and as per local codes and requirements.
- Note: Provide proper insulation for all plumbing.
- 1/2" water-resistant drywall around showers, tubs and whirlpools.
- 1/2" drywall on interior walls and ceilings.
- Windows, verify type on Elevations
- Note: Provide proper wiring for all electrical appliances, mechanical equipment and whirlpools as per manufacturer's specifications.
- Any Changes made to plans shall be brought to the attention of the Architect prior to any modifications.

ABBREVIATIONS

A/C	Air Conditioner	DISH	Dishwasher	INSUL	Insulation	PROJ	Projection	TRAP	Trap
ADJ	Adjustable	DN	Down	INT	Interior	RAD	Radius	UL	Underlayment
AWN	Awning	DRY	Dryer	JST	Joint	RAFRS	Rafters	UNEX	Unexcavated
BLOG	Building	EA	Each	LVL	Laminated Veneer Lumber	REFRIG	Refrigerator	WASH	Washer
BSMT	Basement	ENT	Entertainment	LIN	Linen	RM	Room	WD	Wood
BTM	Bottom	EXP	Exposure	MAX	Maximum	SEC	Section	WFI	Water Heater
BTW	Between	EXT	Exterior	MBR	Master Bedroom	SHWR	Shower	W/W.M.	Welded Wire Mesh
CANT	Can't	FIN	Finished	MICRO	Microwave	S.L.	Side Lite	@	At
C.J.	Callout Joist	F.J.	Floor Joist	MIN	Minimum	SPP	Sump Pump Pit	STA	Stationary
CLG	Ceiling	FLUOR	Fluorescent	MISC	Miscellaneous	STD	Standard	STRUC	Structural
CEL	Ceiling	FTG	Footing	O.C.	On Center	STL	Steel	T.C.	Trash Compactor
CMU	Concrete Masonry Unit	GALV	Galvanized	O.H.D.	Overhead Door	STRUC	Structural	T & G	Tongue & Groove
C.O.	Cased Opening	GARB	Garbage Disposal	OPNG	Opening	STRUC	Structural	TRANS	Transom
CONC	Concrete	G & N	Glued & Nailed	PC	Pull Chord	T.C.	Trash Compactor	WW	With Diameter
DBL	Double	G.L.	Gypsum Header	PICT	Picture	TRANS	Transom		
DH	Double Hung	HDR	Header	POLY	Polyethylene				

A NEW COMMUNITY CENTER for: Symphony Farms

Kill Creek Road
Gardner, KS

GENERAL NOTES

THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL CODES AND IRC 2012

THE CONTRACTOR SHALL COMPLY WITH ALL CONSTRUCTION DOCUMENTS INCLUDING THE OUTLINE SPECIFICATIONS. DO NOT SCALE DRAWINGS, FOLLOW DIMENSIONS AS SHOWN ON PLANS.

ALL MATERIALS SUPPLIES AND EQUIPMENT SHALL BE INSTALLED AS PER MANUF. SPECIFICATIONS AND AS PER LOCAL CODES AND REQUIREMENTS.

FOR EXACT LOCATION AND COUNT OF LIGHT FIXTURES, ELECTRICAL SWITCHES AND OUTLETS, CONSULT WITH OWNER AND OBTAIN APPROVAL

THE OWNER AND CONTRACTOR HAVE THE RESPONSIBILITY TO COMPLY WITH ALL CODES, LAWS, RULES AND REGULATIONS IN THE CONSTRUCTION OF THIS HOUSE OR ADDITION. CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE AND IS RESPONSIBLE FOR THE LOAD BEARING CAPACITY OF THE SOIL AND THAT IT MEETS OR EXCEEDS THE DESIGN REQUIREMENTS. IF SOIL IS NOT SUITABLE CONTRACTOR SHALL ENGAGE THE SERVICES OF A GEO-TECHNICAL ENGINEER FOR INSPECTION AND RECOMMENDATIONS. THE ARCHITECT IS NOT ENGAGED IN THE SUPERVISION AND OR INSPECTION OF THIS HOUSE DURING CONSTRUCTION, ARCHITECT WILL ADDRESS AND QUESTIONS THAT MIGHT DEEM ARCHITECT ASSISTANCE AT AN AGREED UPON HOURLY RATE.

THE DESIGN PROFESSIONAL WILL NOT HAVE CONTROL OVER OR CHARGE OF AND WILL NOT BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, SEQUENCE OR PROCEDURES IN REGARDS TO THE MANNER IN WHICH THE STRUCTURE IS BUILT.

THE OWNER SHALL INDEMNIFY AND HOLD HARMLESS THE DESIGN PROFESSIONAL FROM ANY CLAIM OR SUIT WHATSOEVER ARISING FROM OR ALLEGED TO HAVE ARISEN FROM THE CONTRACTORS PERFORMANCE OR THE FAILURE OF THE CONTRACTORS WORK TO CONFORM TO THE DESIGN INTENT OF THE CONTRACT DOCUMENTS.

CONTRACTOR TO VERIFY ALL FIELD DIMENSIONS AND OR CONDITIONS AT THE JOB SITE BEFORE BEGINNING WORK

THE CONTRACTOR SHALL VERIFY LOCATION OF EXISTING UTILITIES, AND SHALL BE RESPONSIBLE FOR PROTECTING THESE UTILITIES DURING THE EXECUTION OF HIS WORK AND RELOCATION.

CONTRACTOR TO LAYOUT BUILDING PRIOR TO ANY CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCY IMMEDIATELY.

ALL DIMENSIONS ARE PARALLEL AND PERPENDICULAR TO TRUE NORTH TO SOUTH.

THE WORK UNDER THE CONTRACT SHALL INCLUDE ALL LABOR, MATERIALS, TOOLS, FEES, INSURANCE, TAXES, ETC., FOR GENERAL CONSTRUCTION, INCLUDING MECHANICAL, PLUMBING AND ELECTRICAL CONSTRUCTION FOR THE COMPLETE CONSTRUCTION OF THIS PROJECT.

BEFORE PERFORMING ANY WORK, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF ANY EXISTING AND NEW WORK AND SHALL BE RESPONSIBLE FOR THEIR ACCURACY. ANY DIFFERENCE FOUND SHALL BE SUBMITTED TO THE ARCHITECT FOR CONSIDERATION BEFORE PROCEEDING WITH THE WORK.

THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN, ADEQUACY, AND SAFETY OF ERECTION BRACING, SHORING AND TEMPORARY SUPPORTS, ETC. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, ROOF SHEATHING, STRUCTURAL ELEMENTS AND FINISH MATERIALS.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSION FOR THEIR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION OR ANY RELATED WORK.

THE GENERAL CONTRACTOR SHALL TAKE ABSOLUTE CARE TO PROTECT NEWLY INSTALLED MATERIALS, MILLWORK, BUILT-INS AND FINISHES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO EXISTING STRUCTURES, UTILITIES, WALKS, STREETS, PAVED AREAS, CURBS, TREES, AND OTHER LANDSCAPING CAUSED THROUGH HIS OPERATIONS UNDER THIS CONTRACT.

THE GENERAL CONTRACTOR SHALL PERFORM HIGH QUALITY PROFESSIONAL WORK. JOIN MATERIALS TO UNIFORM, ACCURATE FITS SO THEY MEET WITH NEAT, STRAIGHT LINES, FREE OF SMEARS OR OVERLAPS. INSTALL EXPOSED MATERIALS APPROPRIATELY LEVEL, PLUMB AND AT ACCURATE RIGHT ANGLES, OR FLUSH WITH ADJOINING MATERIALS. WORK OF EACH TRADE SHALL MEET ALL NATIONAL STANDARDS PUBLISHED BY THAT TRADE, EXCEPT IN THE CASE WHERE THE CONTRACT DOCUMENTS ARE MORE STRINGENT.

PROJECT CLOSE OUT - REPLACE BROKEN GLASS; CLEAN ALL HARDWARE AND FIXTURES; REMOVE STAINS, SPOTS AND MARKS FOR ALL SURFACES; VACUUM CARPET; LEAVE THE WORK READY FOR OCCUPANCY.

THE CONTRACTOR SHALL PROVIDE ALL OPERATING AND MAINTENANCE DATA AND ALL MANUFACTURER'S, INSTALLER'S AND APPLICATOR'S GUARANTEE, BONDS, WARRANTIES AND SERVICE INSTRUCTIONS.

PARTITIONING AT WALL CABINETS AND COUNTERS SHALL HAVE HORIZONTAL BRACING.

THE GENERAL CONTRACTOR SHALL ARRANGE TO ACCOMMODATE "NOT IN CONTRACT WORK". WHEN INFORMATION IS INADEQUATE, REQUEST FURTHER INSTRUCTION BEFORE PROCEEDING.

DRAWING SCHEDULE

COVER SHEET

A0.0 - CODE PLAN

A0.1 - ADA GUIDELINES

A1.0 - FLOOR PLAN / DETAILS / INT. ELEVS.

A1.1 - SCHEDULE / INT. ELEVS. / DETAILS

A2.0 - EXT. ELEVATIONS / DETAIL

A2.1 - EXT. ELEVATIONS

A3.0 - SECTION / DETAILS

A3.1 - LONGITUDINAL SECTION

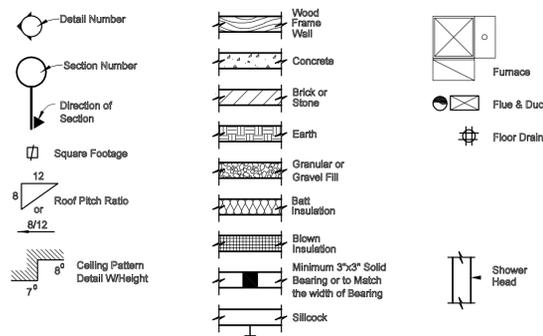
A3.2 - SECTION / DETAILS

A4.0 - STRUCTURAL NOTES / DETAIL

A4.1 - FOUNDATION PLAN / DETAILS

A4.2 - FRAMING PLAN / DETAILS

SYMBOLS



PROJECT CODE DATA CHART

A) TYPE OF OCCUPANCY: 303.4 ASSEMBLY A-3 COMMUNITY CENTER

BUILDING SQUARE FOOTAGE: 1,392 SQ.FT.

A.1) OCCUPANT LOAD:(SEE PLAN)

OCCUPANT LOAD BUILDING: OCCUPANT LOAD POOL: OCCUPANT LOAD DECK:
 SEE PLAN: 47 Occupants 2500 / 50 = 50 Occupants 4300 / 30 = 144 Occupants

B) TYPE OF CONSTRUCTION: BUILDING TYPE VB, UNPROTECTED, BUILDING IS NON SPRINKLED

C) CODE REFERENCES:

2012 INTERNATIONAL BUILDING CODE (IBC) ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION - ICC ANSI A 117.1
 2011 NATIONAL ELECTRICAL CODE (NEC) 2003 AMERICAN NATIONAL STANDARD ACCESSIBILITY AND USEABLE BUILDINGS AND FACILITIES (ICC/ANSI A117.1-2003)
 2012 INTERNATIONAL FIRE CODE (IFC)
 2012 INTERNATIONAL FUEL GAS CODE (IFGC)
 2012 INTERNATIONAL MECHANICAL CODE (IMC)
 2012 INTERNATIONAL PLUMBING CODE (IPC)

D) BUILDING AREA	ALLOWABLE	ACTUAL	E) BUILDING HEIGHT	ALLOWABLE	ACTUAL
	6,000 SQ.FT.	1,392 SQ.FT.	1 STORY / 40'	1 STORY / 40'	1 STORY - 26'-6"

F) MINIMUM FIRE RESISTANCE RATINGS REQUIREMENTS FOR BUILDING ELEMENTS

ELEMENTS	FIRE RATING REQUIRED
STRUCTURAL FRAME	0
BEARING WALLS	0
EXTERIOR	0
INTERIOR	0
NONBEARING EXT. WALLS	0
NONBEARING INT. WALLS	0
FLOOR CONSTRUCTION	0
ROOF CONSTRUCTION	0

6.1) PLUMBING FIXTURE REQUIREMENTS: CHAPTER 29

OCCUPANT LOAD: 47 PERSONS (A-3 OCCUPANCY; BUILDING - COMMUNITY CENTER)

	WATER CLOSETS	REQUIRED	PROVIDED
24 FEMALE:	SEE NOTE 2 BELOW	1	2 PLUS 1 FAMILY TOILET (3)
24 MALE:	SEE NOTE 1 BELOW	1	2 PLUS 1 FAMILY TOILET (3) 1 URINAL
	LAVATORIES	REQUIRED	PROVIDED
24 FEMALE:	SEE NOTE 3 BELOW	1	1 PLUS 1 FAMILY TOILET (2)
24 MALE:	SEE NOTE 3 BELOW	1	2 PLUS 1 FAMILY TOILET (2)

NOTE 1: 1 PER 125
 NOTE 2: 1 PER 65
 NOTE 3: 1 PER 200

6.2) PLUMBING FIXTURE REQUIREMENTS: CHAPTER 29

OCCUPANT LOAD: 50 PERSONS (A-4 OCCUPANCY; POOL)

	WATER CLOSETS	REQUIRED	PROVIDED
25 FEMALE:	SEE NOTE 2 BELOW	1	3
25 MALE:	SEE NOTE 1 BELOW	1	3 WATER CLOSET & 1 URINAL
	LAVATORIES	REQUIRED	PROVIDED
25 FEMALE:	SEE NOTE 4 BELOW	1	3
25 MALE:	SEE NOTE 3 BELOW	1	2

NOTE 1: 1 PER 75 FOR THE FIRST 1500 NOTE 3: 1 PER 200
 NOTE 2: 1 PER 40 FOR THE FIRST 1520 NOTE 4: 1 PER 150

6.3) PLUMBING FIXTURE REQUIREMENTS: CHAPTER 29

OCCUPANT LOAD: 144 PERSONS (A-5 POOL DECK - OUTDOOR ACTIVITIES)

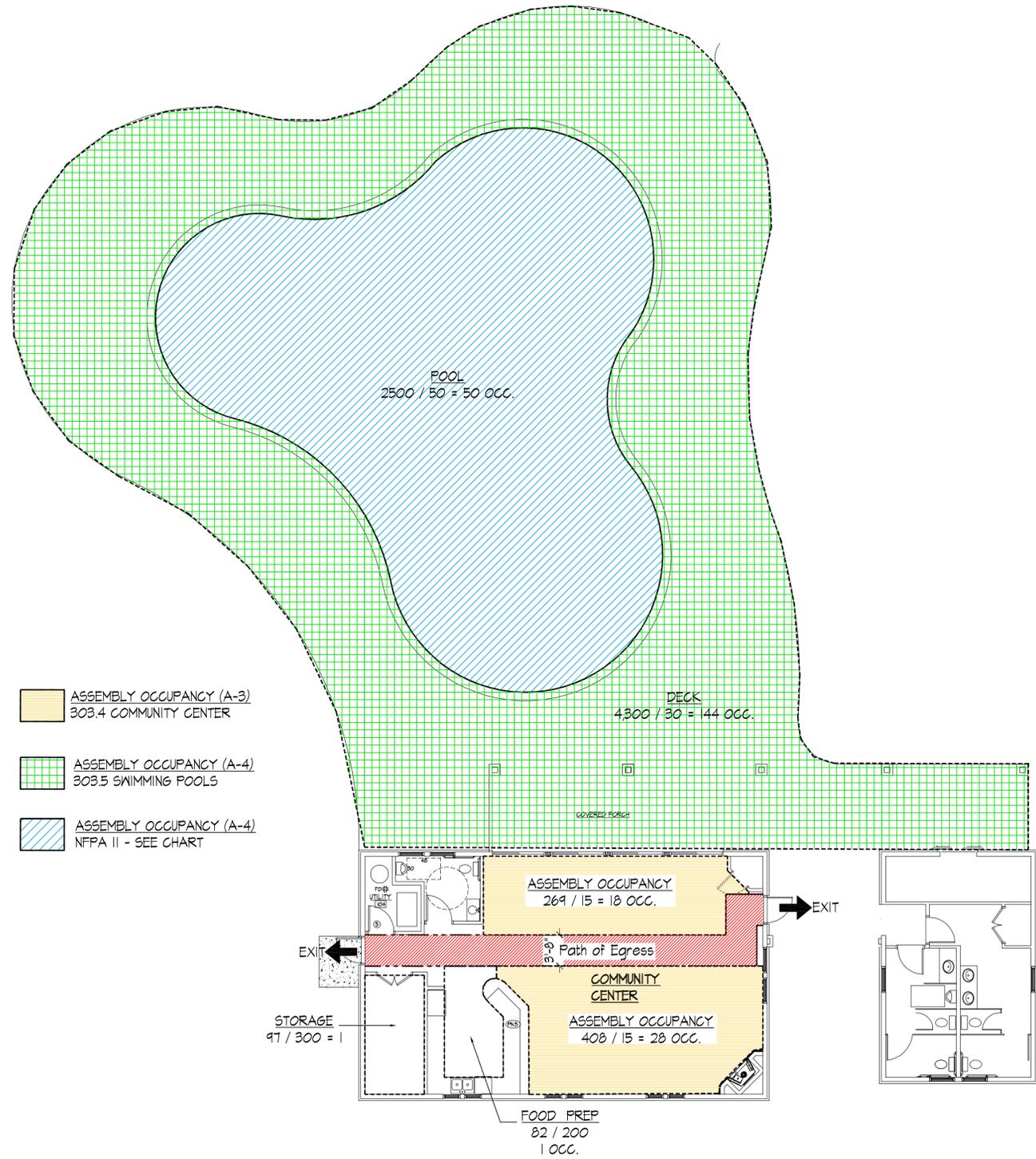
	WATER CLOSETS	REQUIRED	PROVIDED
72 FEMALE:	SEE NOTE 2 BELOW	1	3
72 MALE:	SEE NOTE 1 BELOW	1	3 WATER CLOSET & 1 URINAL
	LAVATORIES	REQUIRED	PROVIDED
72 FEMALE:	SEE NOTE 4 BELOW	1	3
72 MALE:	SEE NOTE 3 BELOW	1	2

NOTE 1: 1 PER 75 FOR THE FIRST 1500 NOTE 3: 1 PER 200
 NOTE 2: 1 PER 40 FOR THE FIRST 1520 NOTE 4: 1 PER 150

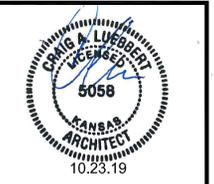
OCCUPANT LOAD FACTOR FOR POOL DECKS PER NFPA 101

Table 7.3.1.2 Occupant Load Factor

Use	(ft ² per person)*	(m ² per person)*
Assembly Use		
Concentrated use, without fixed seating	7 net	0.65 net
Less concentrated use, without fixed seating	15 net	1.4 net
Bench-type seating	1 person/18 linear in.	1 person/455 linear mm
Bench-type seating	Number of fixed seats	Number of fixed seats
Waiting spaces	See 12.1.7.2 and 13.1.7.2.	See 12.1.7.2 and 13.1.7.2.
Kitchens	100	9.3
Library stack areas	100	9.3
Library reading rooms	50 net	4.6 net
Swimming pools	50 (water surface)	4.6 (water surface)
Swimming pool decks	30	2.8
Exercise rooms with equipment	50	4.6
Exercise rooms without equipment	15	1.4



- ASSEMBLY OCCUPANCY (A-3) 303.4 COMMUNITY CENTER
- ASSEMBLY OCCUPANCY (A-4) 303.5 SWIMMING POOLS
- ASSEMBLY OCCUPANCY (A-4) NFPA II - SEE CHART



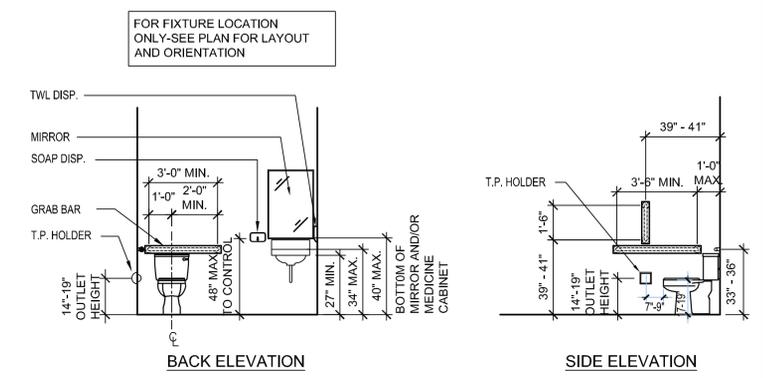
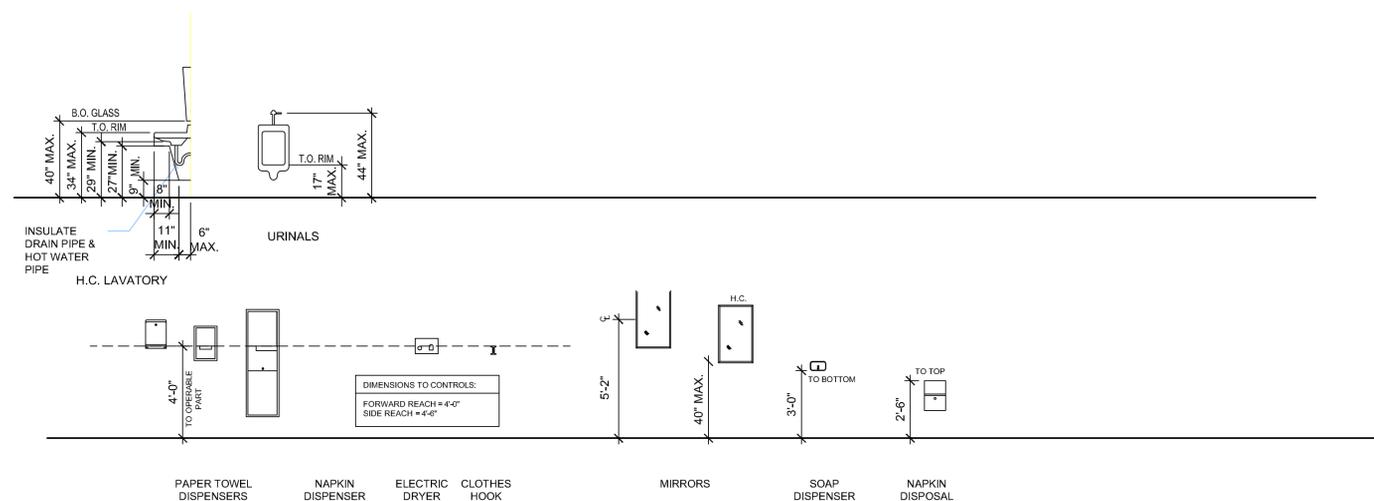
Craig Luebbert
 Architect
 24 NW Chipman 'B', 816.875.4863

Construction Documents
Symphony Farms Clubhouse
 Kill Creek Rd., Gardner, KS

DATE ISSUED: 10.23.19
 REVISIONS:
 ARCHITECTURAL PROJECT NUMBER

SHEET NUMBER
A0.0

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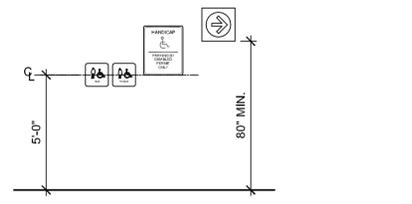


GENERAL ACCESSIBILITY NOTES

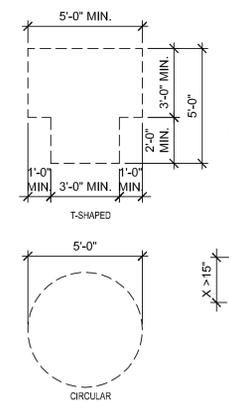
- DRAWINGS ON THIS SHEET ARE INTERPRETATIONS BASED UPON:
 - AMERICAN NATIONAL STANDARD ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES (ICC/ANSI A117.1-2009) AS PUBLISHED BY INTERNATIONAL CODE COUNCIL IN MAY, 2004.
 - INTERNATIONAL BUILDING CODE 2003 AS PUBLISHED BY INTERNATIONAL CODE COUNCIL IN JANUARY 2004
 - AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG) AS PUBLISHED BY U.S. ARCHITECTURAL AND TRANSPORTATION BARRIERS COMPLIANCE BOARD (ACCESS BOARD)
- THIS SHEET IS NOT INCLUSIVE OF ALL ACCESSIBILITY REQUIREMENTS BY ANY JURISDICTION AND IS NOT INTENDED TO REPLACE OR ALTER ANY CODIFIED REQUIREMENTS BY ANY JURISDICTION.
- ACCESSIBILITY REQUIREMENTS SHALL BE MET IN ACCORDANCE WITH ANY AND ALL FEDERAL AND STATE, LOCAL AND OTHER MUNICIPAL JURISDICTIONS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT ANY CONFLICTS AND DISCREPANCIES TO ARCHITECT.
- WALKWAYS WILL HAVE A SLOPE NO STEEPER THAN 1:20.
- FLAT SURFACES SHALL HAVE A SLOPE NO STEEPER THAN 1:48 AT WET LOCATIONS.
- PROVIDE NON-SLIP FLOOR SURFACES AT ALL WET LOCATIONS.
- OPERABLE AND DISPENSING HEIGHTS SHALL BE 15" MINIMUM AND 44" MAXIMUM ABOVE FINISHED FLOOR UNLESS OTHERWISE REQUIRED AS DEFINED BY LOCAL AUTHORITY.
- ALL FIXTURES AND ACCESSORIES SHALL BE INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS TO MEET ACCESSIBILITY REQUIREMENTS.
- GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS.
- HANGING FIXTURES AND ACCESSORIES SHALL HAVE WALL BLOCKING TO MEET MINIMUM FORCE REQUIREMENTS.
- EXPOSED PIPING AT LAVATORIES SHALL BE INSULATED. NO SHARP OR ABRASIVE SURFACES SHALL BE ALLOWED.
- PROVIDE SOAP AND HAND TOWEL DISPENSERS AT ALL HAND WASHING LOCATIONS.
- SEE DRAWINGS FOR ACTUAL FIXTURE AND ACCESSORY LOCATIONS.

ACCESSIBLE MOUNTING HEIGHTS AT TOILET ACCESSORIES
SCALE: 1/4" = 1'-0"

2

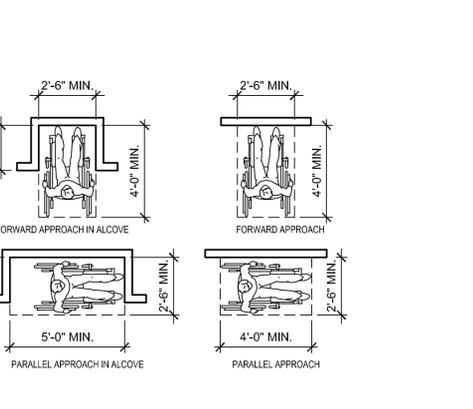


4 SIGNAGE
SCALE: 1/4" = 1'-0"



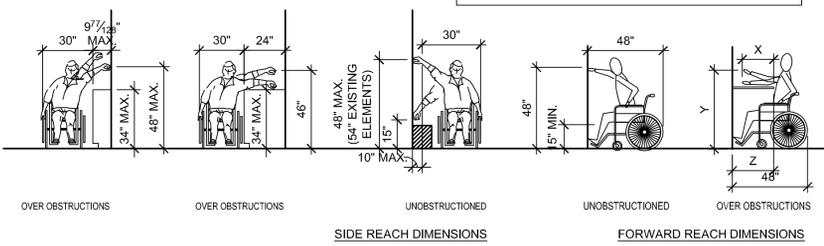
7 SIZE OF TURNING SPACE
SCALE: N.T.S.

5 ACCESSIBLE FIRE EXTINGUISHER AND CABINET MOUNTING HEIGHT
SCALE: 1/4" = 1'-0"

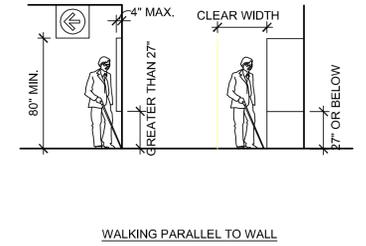
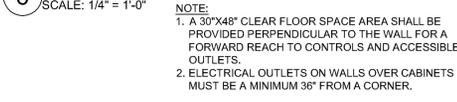


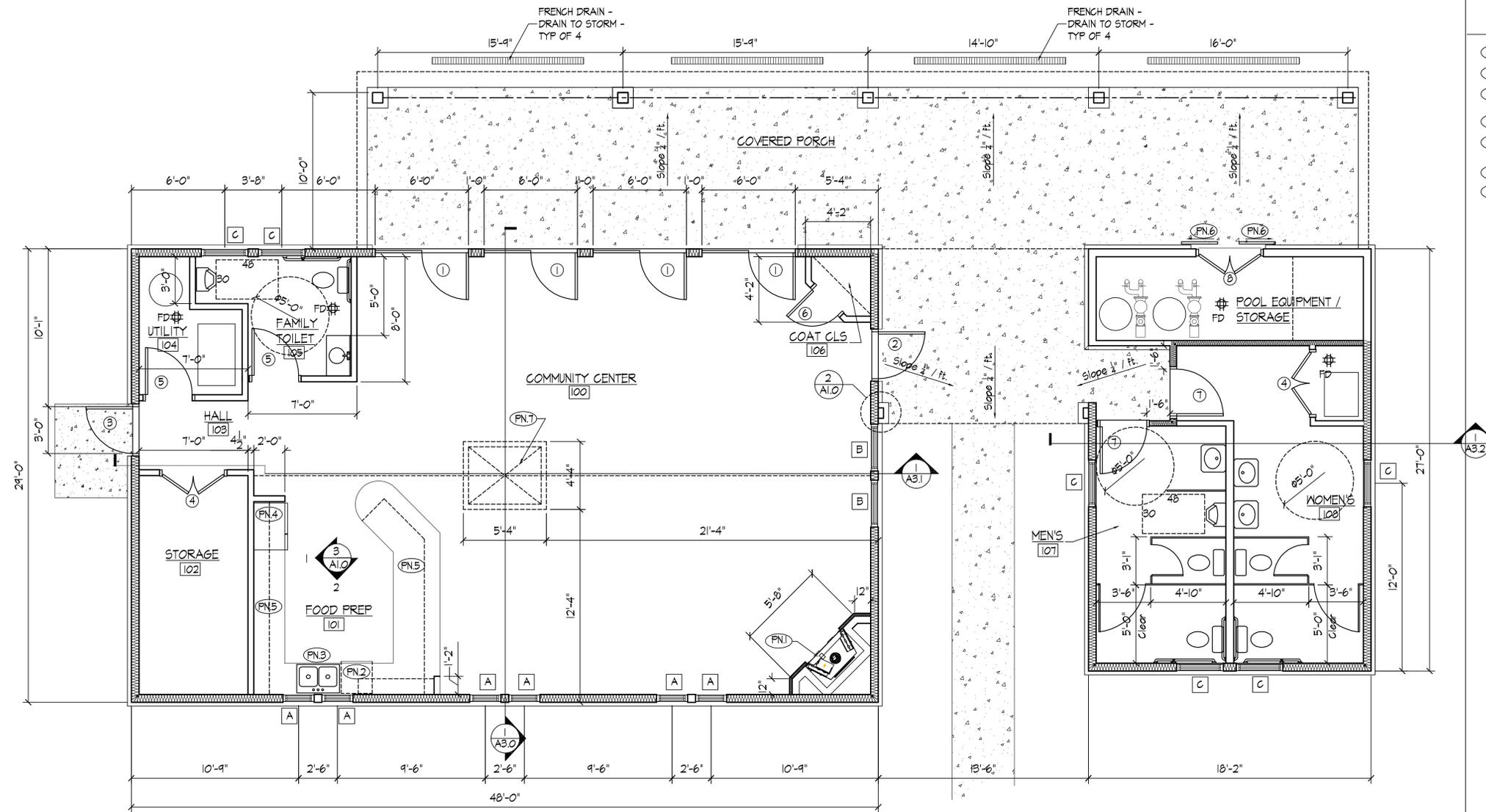
8 CLEAR FLOOR SPACE
SCALE: N.T.S.

NOTE: X SHALL BE < 25"; Z SHALL BE > X, WHEN X ≤ 20", THEN Y SHALL BE 48" MAX. WHEN X IS ≥ 20" - 25", THEN Y SHALL BE 44" MAX.



6 ACCESSIBLE MOUNTING HEIGHTS AT CONTROLS AND OUTLETS
SCALE: 1/4" = 1'-0"

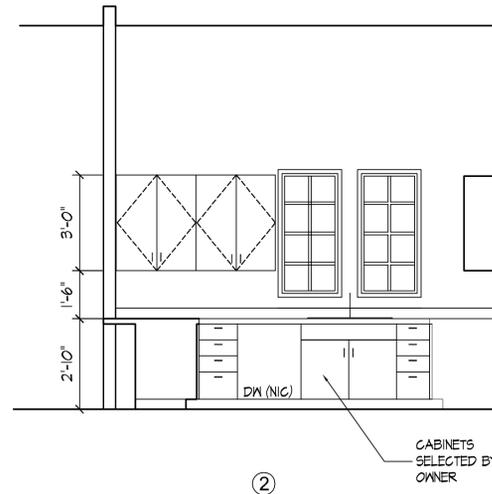




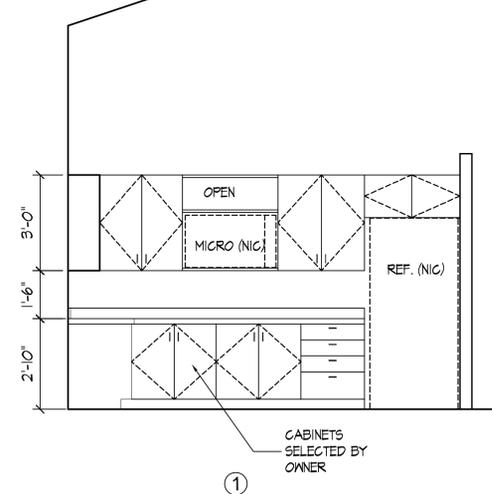
PLAN NOTES:

- (FN1) GAS FIRPLACE
- (FN2) DISHWASHER (NIC)
- (FN3) STAINLESS STEEL SINK W/ GARBAGE DISPOSAL
- (FN4) REFRIG. (NIC)
- (FN5) SOLID SURFACE COUNTERTOP COUNTER HEIGHT 34" AFF
- (FN6) SLIDING BARN DOORS
- (FN7) CUPOLA ABOVE

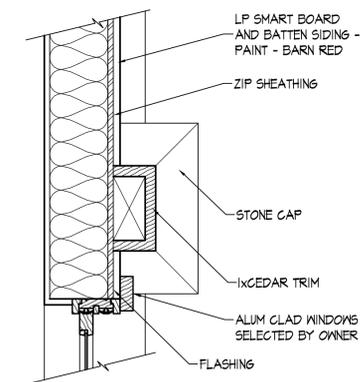
PLAN NORTH NORTH
1 Floor Plan
 SCALE: 3/16"=1'



3 Food Prep Elevations
 SCALE: 3/8"=1'



2 Plan Detail
 SCALE: 1 1/2"=1'



Craig Luebert
 Architecture
 24 NW Chipman 'B', 816.875.4863



Construction Documents

Symphony Farms Clubhouse

Kill Creek Rd.
 Gardner, KS

DATE ISSUED:
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REVISIONS:

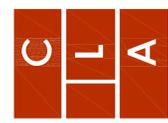
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A1.0



Craig Luebbert
Architect
24 NW Chipman B'. 816.875.4863



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ROOM FINISH SCHEDULE

ROOM NO.	NAME	WALLS				FLOOR	BASE	CEILING	CEILING HEIGHT	SOUND INSULATION	REMARKS
		NORTH	SOUTH	EAST	WEST						
100	COMMUNITY CENTER	P-1	P-1	P-1	P-1	SC-1	WD	GYP. BD	-		
101	FOOD PREP	-	P-1	-	P-1	SC-1	WD	GYP. BD	-		
102	STORAGE	P-1	P-1	P-1	P-1	SC-2	WD	GYP. BD	-		
103	HALL	P-1	P-1	-	P-1	SC-1	WD	GYP. BD	-		
104	UTILITY	P-1	P-1	P-1	P-1	SC-2	-	GYP. BD	-	3 1/2" BATT	
105	FAMILY TOILET	PT-1	PT-1	PT-1	PT-1	PT-1	PT	GYP. BD	-	3 1/2" BATT	
106	COAT CLS	P-1	P-1	P-1	P-1	SC-1	WD	GYP. BD	-		
107	MEN'S										
108	WOMEN'S										

WALLS
P-1 GYPSUM BOAD (1) COAT PRIMER (2) COATS SATIN
PT-1 1/2"x6" PORCELAIN TILE - UP 48" AFF GYPSUM BOAD (1) COAT PRIMER (2) COATS SATIN ABEY TILE.

CEILING
ACT-1 2X2 ACOUSTICAL CEILING - FISSED; TEGULAR EDGE
GYP. BD. PAINT

FLOORING
PT-1 16"x16" PORCELAIN TILE
SC-1 STAINED AND SEALED CONCRETE
SC-2 SEALED CONCRETE

BASE
WD 6" WOOD BASE - PAINT
PT PORCELAIN TILE

DOOR SCHEDULE

DOORS ARE NOMINAL DIMENSIONS VERIFY W/ MANUF. R.O. SIZE ALL DOOR LATCHES TO BE LEVER STYLE ADA COMPLIANT

① 6'-0" x 6'-8" TEMP. GLASS, HOLLOW MTL. SOLID CORE DOOR INACTIVE LEAF FLUSH BOLT - PREHUNG

② 3'-0" x 6'-8" TEMP. GLASS, INSUL. SOLID CORE WOOD DOOR - PREHUNG

③ 3'-0" x 6'-8" INSUL. HOLLOW METAL DOOR - PREHUNG

④ 4'-0" x 6'-8" PR. HOLLOW CORE INT. DOOR W/ MAGNETIC LATCH - PREHUNG

⑤ 3'-0" x 6'-8" PR. HOLLOW CORE INT. DOOR - PREHUNG

⑥ 2'-4" x 6'-8" PR. HOLLOW CORE INT. DOOR - PREHUNG

⑦ 3'-0" x 6'-8" INSUL. HOLLOW METAL DOOR - PREHUNG W/ CLOSURE

⑧ 4'-0" x 6'-8" HOLLOW MTL. SOLID CORE DOOR INACTIVE LEAF FLUSH BOLT

WINDOW SCHEDULE

WINDOWS ARE NOMINAL DIMENSIONS VERIFY W/ MANUF. R.O. SIZE ALL DOOR LATCHES TO BE LEVER STYLE ADA COMPLIANT

A 2'-0" x 4'-0" CASEMENT

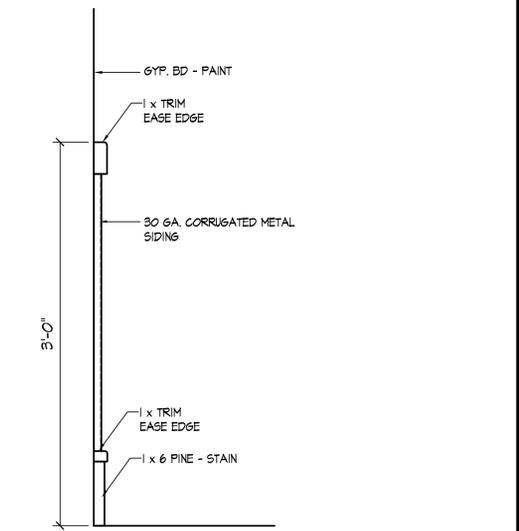
B 3'-0" x 5'-0" DOUBLE HUNG

C 3'-0" x 2'-0" FIX WINDOW FROSTED GLASS

D 3'-0" x 3'-0" FIX WINDOW

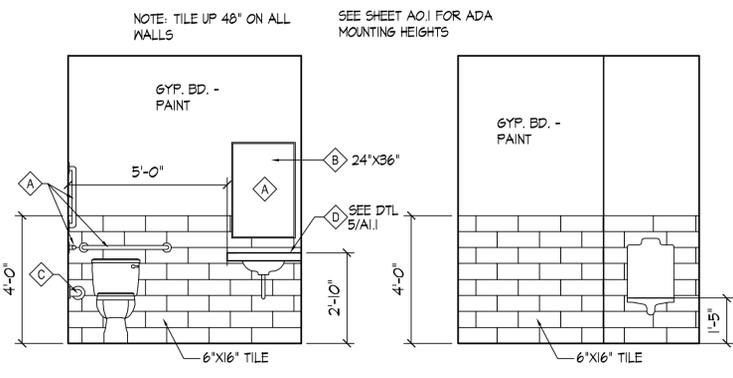
E 2'-4" x 2'-4" FIX WINDOW (CUPOLA)

Wainscot Detail



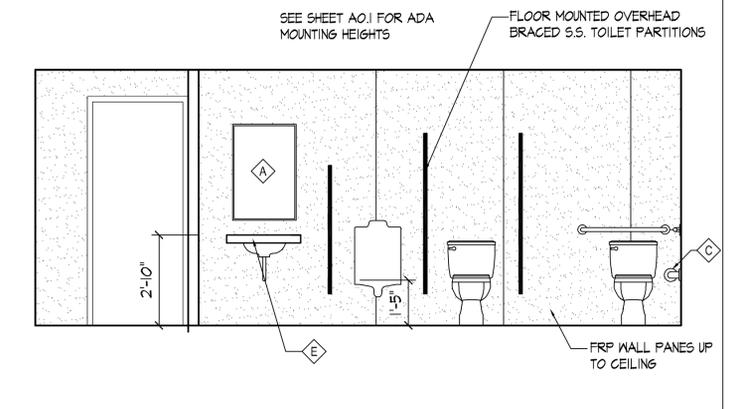
TOILET ACCESSORIES

- ALL WASHROOM ACCESSORIES INSTALL PER MANUFACTURERS RECOMMENDATIONS AND PER ANSI A117.1-2017 AND LOCAL CODE.
- Ⓐ GRAB BARS ————— B-5806x42, B-5806x36, B-5806x18
 - Ⓑ MIRROR ————— CHANNEL FRAMED MIRROR
 - Ⓒ TOILET TISSUE DISPENSER
 - Ⓓ SOLID SURFACE VANITY TOP
 - Ⓔ WALL HUNG LAVATORY - REF PLUMBING DWGS



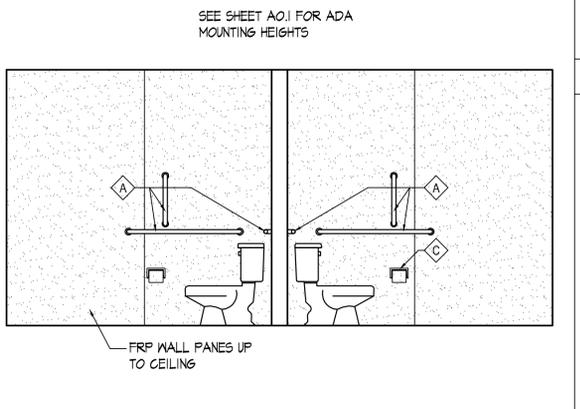
1 Elevation Family Toilet 105

SCALE: 3/8"=1'



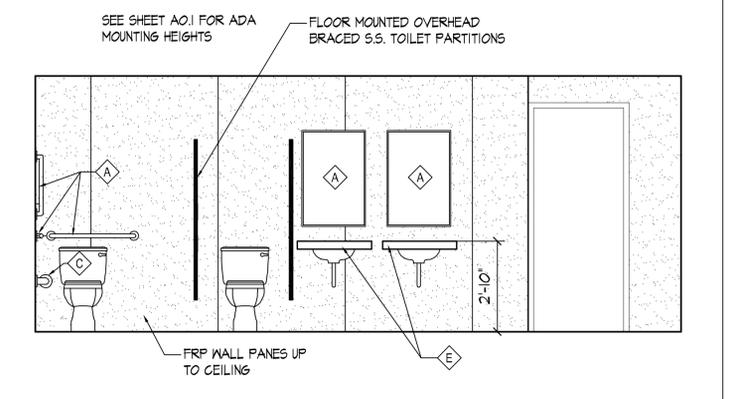
2 Men's Toilet 107

SCALE: 3/8"=1'



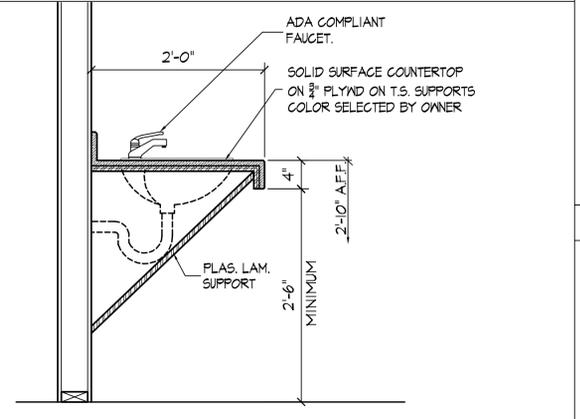
3 Men's Toilet 107 / Women's 108

SCALE: 3/8"=1'



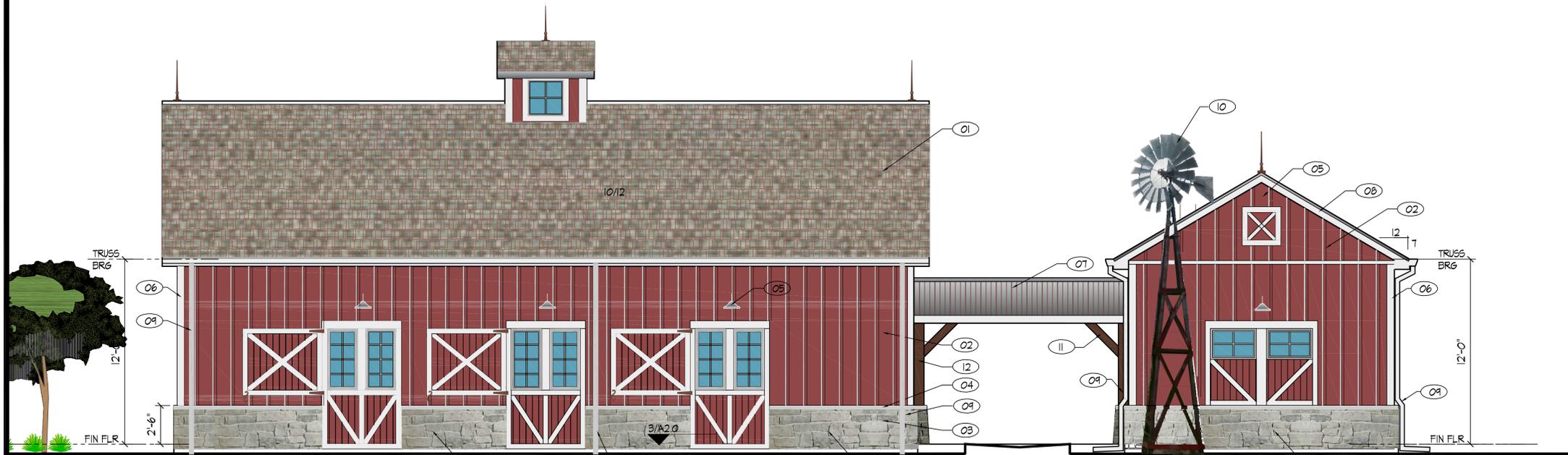
4 Women's Toilet 108

SCALE: 3/8"=1'

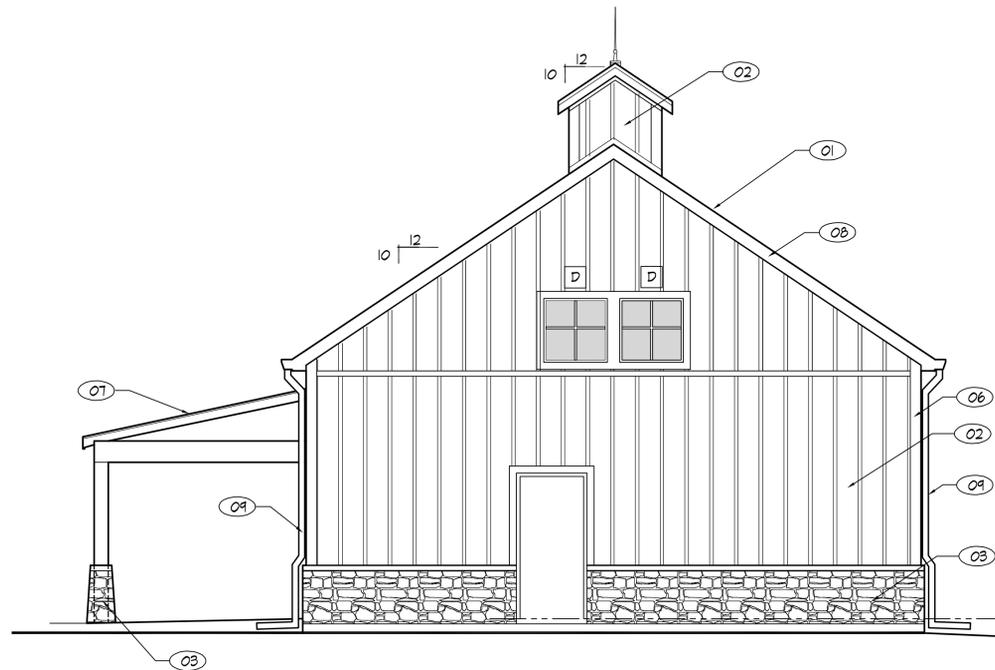


5 Lavatory Detail - Family Toilet 105

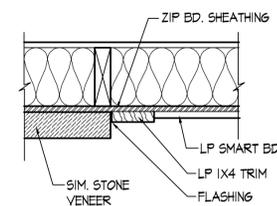
SCALE: 3/8"=1'



1 East Elevation
SCALE: 1/4"=1'



2 South Elevation
SCALE: 1/4"=1'



3 Detail
SCALE: 1 1/2"

MATERIAL NOTES:

- 01 ASPHALT SHINGLES 'CERTAIN TEED' - LANDMARK AR SERIES
- 02 LP SMART BOARD AND BATTEN SIDING - PAINT - BARN RED
- 03 SIMULATED STONE VENEER - GREY
- 04 3" WATER TABLE SILL COURSE
- 05 GOOSENECK GALV. LIGHT FIXTURE
- 06 6" LP SMART TRIM - TYP AT CORNERS
- 07 CORRUGATED MTL. ROOFING PANELS - 12' L.
- 08 5/4 LP FASCIA
- 09 PREFIN. MTL. DOWNSPOUT
- 10 WINDMILL BY SAND CREEK - CONTACT ARCHITECT FOR INFORMATION
- 11 6X6 CEDAR ANGLED BRACKET
- 12 6X6 TREATED POST SUPPORT TRIMMED OUT IN CEDAR - TYP.



Craig Luebert
Architecture
24 NW Chipman 'B', 816.875.4863



Construction Documents

Symphony Farms Clubhouse

Kill Creek Rd.
Gardner, KS

DATE ISSUED:
10.23.19

REVISIONS:

ARCHITECTURAL PROJECT NUMBER

SHEET NUMBER

A2.0



Craig Luebbert
Architect
24 NW Chipman 'B' 816.875.4863



Construction Documents

Symphony Farms Clubhouse

Kill Creek Rd.
Gardner, KS

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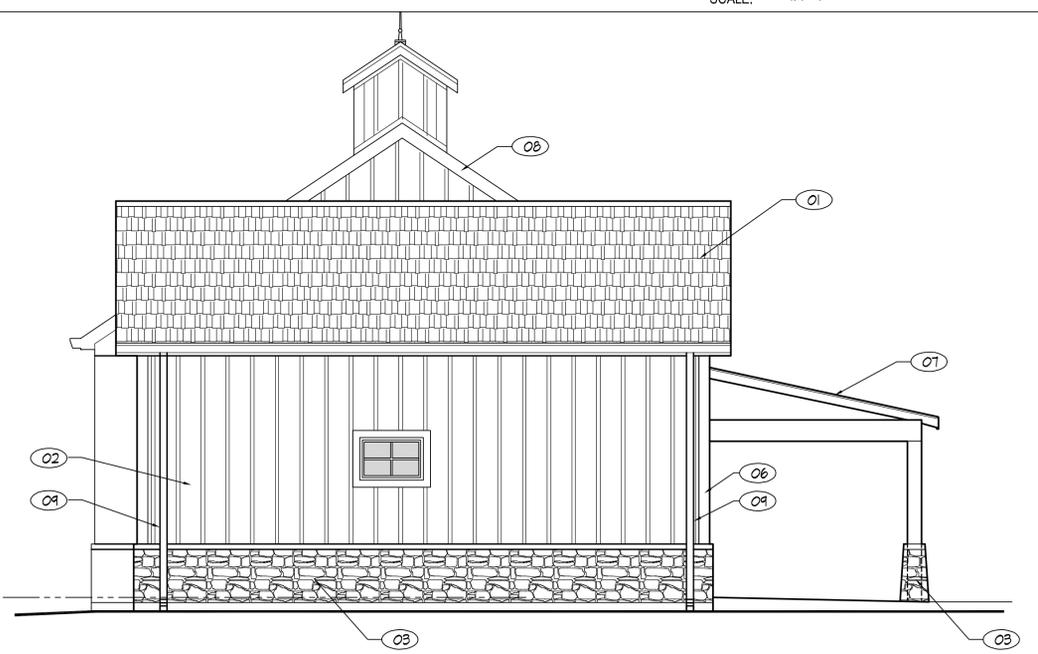
A2.1

MATERIAL NOTES:

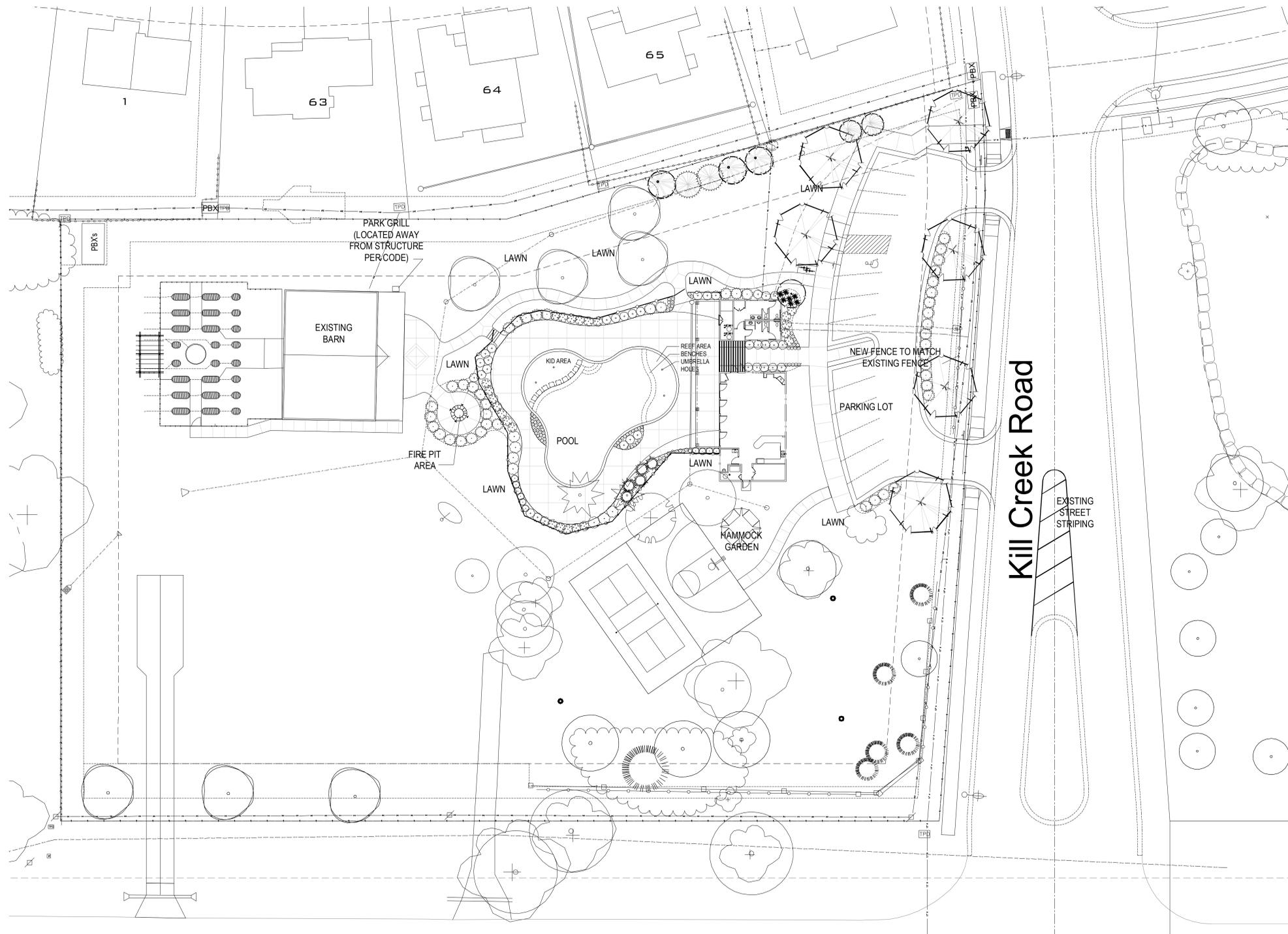
- 01 ASPHALT SHINGLES 'CERTAIN TEED' - LANDMARK AR SERIES
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- 11 6X6 CEDAR ANGLED BRACKET
- 12 6X6 TREAT POST SUPPORT TRIMMED OUT IN CEDAR - TYP.



1 West Elevation
SCALE: 1/4"=1'



2 North Elevation
SCALE: 1/4"=1'



Planting Notes

1. Location of all existing utilities needs to be done before commencing work.
2. The planting plan graphically illustrates overall plant massings. Each plant species massing shall be placed in the field to utilize the greatest coverage of ground plane. The following applies for individual plantings:
 - a. Creeping groundcover shall be a minimum of 6" from paving edge.
 - b. All trees shall be a minimum of 3' from paving edge.
 - c. All plants of the same species shall be equally spaced apart and placed for best aesthetic viewing.
 - d. All shrubs shall be a minimum of 2' from paved edge.
3. Mulch all planting bed areas to a minimum depth of 3". Mulch individual trees to a minimum depth of 4".
4. Note: If plants are not labeled - they are existing and shall remain.
5. In the event of work in or on a JCW sanitary main, any trees or plantings placed within the sewer easement may be removed without replacement or compensation there-of and shall be replaced by the property owner as required by the City.
6. All landscaped areas in ROW shall be sodded and irrigated unless otherwise specified.
7. Any disturbed area not landscaped shall be sodded.

Materials:

1. Plant material shall be healthy, vigorous, and free of disease and insects as per AAN standards.
2. Shredded bark mulch installed at trees shall be finely chipped and shredded hardwood chips, consisting of pure wood products and free of all other foreign substances. Pine bark compost mulch installed at planting bed areas shall be free of all other foreign substances.

Installation:

1. All planting beds shall be amended with 1 cubic yard of peat moss per 1,000 square feet. Till peat moss into soil to a 6" depth. A 10-10-10 fertilizer shall be spread over all planting areas prior to planting, at a rate of 50 pounds per 2,000 square feet.
2. After plants have been installed, all planting beds shall be treated with Dacthal pre-emergent herbicide prior to mulch application.
3. Plant pit backfill for trees and shrubs shall be 50% peat or well composted manure and 50% topsoil.
4. Plant material shall be maintained and guaranteed for a period of one year after Owner's acceptance of finished job. All dead or damaged plant material shall be replaced at Landscape Contractor's expense.
6. Landscape contractor shall maintain all plant material until final acceptance, at which point the one year guarantee begins.

Site and Landscape Calculations

LARGE EXISTING TREES ARE BEING PRESERVED ON THIS SITE. THEY HAVE BEEN LABELED ON THE PLAN. THESE TREES WILL COUNT TOWARDS THE REQUIREMENTS BELOW.

STREET TREE REQUIREMENTS: COLLECTOR - STANDARD (C-S)
Street trees are required at a rate of 40'-60' on center.
Requirement Met.

PARK STANDARD:
1 tree for every 40' of frontage.
Requirement Met.

LANDSCAPE PARKING AREA REQUIREMENTS:
1 large or medium tree for each 40 spaces.
14 Spaces provided. 0 Trees required. 2 Trees provided.
Requirement Met.
1 shrub for every 5 linear feet of perimeter buffer along frontage/street side.
100 LF of Perimeter buffer. 20 Shrubs required. 20 Shrubs provided.
Requirement Met.
1 large or medium tree for every 50 linear feet of perimeter buffer.
145 LF of Perimeter buffer. 3 Trees required. 3 Trees provided.
Requirement Met.

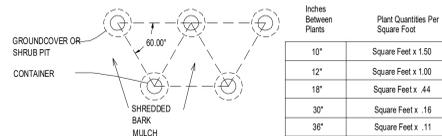
LOT AREA REQUIREMENTS:
1 tree per 10,000 sf of area and 1 shrub per 5,000 sf of area are required.
109,296 sf site total.
11 Trees required. 22 shrubs required.
Requirement Met.

TREE DIVERSITY REQUIREMENTS:
5-10 Trees required = At least 2 genus. No more than 50% of any one species.
Requirement Met.

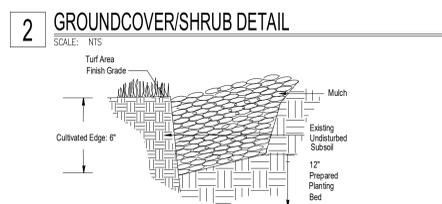
167th Street

1 OVERALL SITE LANDSCAPE PLAN

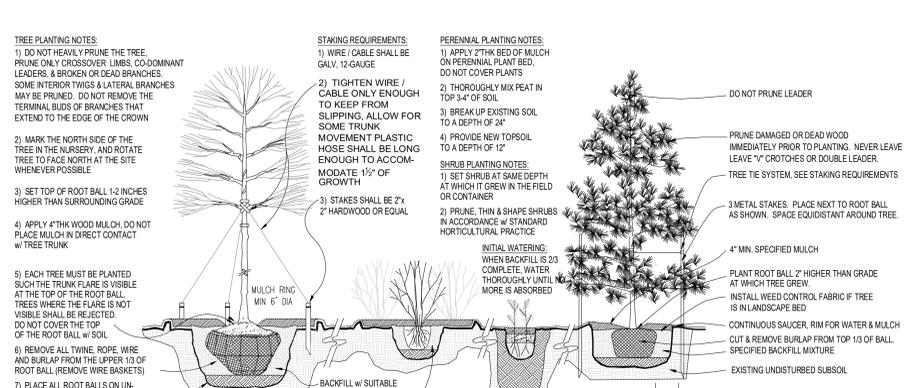
SCALE: 1"=20'-0"



2 GROUNDCOVER/SHRUB DETAIL
SCALE: NTS



3 CULTIVATED EDGE DETAIL
SCALE: NTS



4 PLANTING INSTALLATION DETAILS
SCALE: NTS

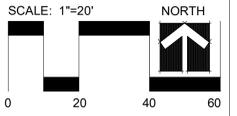
Landscape Schedule

Symbol	Qty.	Botanical Name	Common Name	Min.Root	Min.Size	Caliper	Remarks
OVERSTORY TREES							
6	6	Quercus rubra	Northern Red Oak	2"	6'	min. clear,	ground to canopy
7	1	Platanus x acerifolia	London Plane Tree	2"	6'	min. clear,	ground to canopy
8	1	Acer x truncatum "Warrenred"	Pacific Sunset Maple	2"	6'	min. clear,	ground to canopy
DEVELOPER TREES							
2	2	Juniperus chinensis "keiskei"	Keiskei Juniper	6"	6'		symmetrical pyramidal form
2	2	Juniper chinensis	Eastern Red Cedar	6"	6'		symmetrical pyramidal form
3	3	Picea abies	Norway Spruce	6"	6'		symmetrical pyramidal form
ORNAMENTAL TREES							
1	1	Cercis canadensis	Eastern Redbud		1.5"		
DECIDUOUS SHRUBS/GRASSES							
80	80	Liriodie muscari "Nargated"	Variegated Liriope	1 gal.			Plant @ 18" O.C.
10	10	Spiraea x bumalda "Goldflame"	Goldflame spirea	3 gal.			Plant @ 3' O.C.
23	23	Hydrangas paniculata "Quick Fire"	Little Quick Fire Hydrangeas	3 gal.			Plant @ 4' O.C.
9	9	Syringa X "Pendol"	Boomerang Purple Lilac	5 gal.			Plant @ 5' O.C.
EVERGREEN SHRUBS							
43	43	Juniperus chinensis "Sea Green"	Sea Green Juniper	3 gal.			Plant @ 4' O.C.
37	37	Juniperus chinensis "Gold Coast"	Gold Coast Juniper	3 gal.			Plant @ 4' O.C.
5	5	Juniperus chinensis "Spartan"	Spartan Juniper	5' Nt.			Symmetrical pyramidal form
GROUNDCOVERS							
7	7	Juniperus horizontalis "Wilton"	Blue Rug Juniper	1 gal.			Plant @ 24" O.C.
EXISTING TREES TO BE REMOVED							
EXISTING TREES/SHRUBS TO BE PRESERVED							



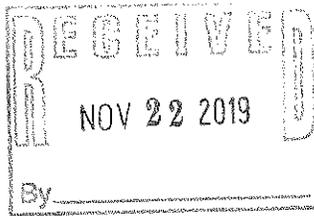
CLIENT
Symphony Farms
167th and Kill Creek
Road
Gardner, KS

PROJECT
Amenity Area
Symphony Farms
167th and Kill Creek
Road
Gardner, KS



Date: 10.24.19
Project #: 533
Landscape Plan





**SITE PLAN AND DESIGN REVIEW
FINAL DEVELOPMENT PLAN
APPLICATION**

Pre-App Date	<u>11-22-19</u>
Fee	<u>\$300 PD</u>
File No.	<u>FDP-19-04</u>

OWNER INFORMATION

Name(s) Lifestyles Building and Design, LLC
Contact Jim Humbert
Address 11237 Nall Avenue, Suite 100
City Leawood State KS Zip 66211
Phone 913-238-607 Email _____

APPLICANT/AGENT INFORMATION

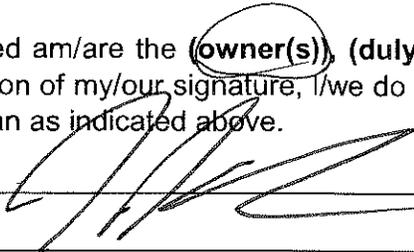
Name(s) Anderson Engineering, Inc.
Contact Jim Long
Address 941 W. 141st Terrace, Suite A
City Kansas City State MO Zip 64145
Phone 816-777-0400 Email JLong@AndersonEngineeringInc.com

SITE INFORMATION

Property Address/Location: NW Corner Kill Creek Road and 167th Street
Legal Description (Attach If Necessary) Attached
Number of Existing Lots 1 Number of Proposed Lots 1
Total Site Area 2.51 ac. Present Zoning RP-1
Proposed Use Amenities for Subdivision Present Land Use Vacant other than a barn
Proposed Street Design Type(s) & Class N/A
Proposed Type(s) Open & Civic Space Clubhouse - Open/Civic Space
Proposed Frontage Type(s) _____
Proposed Building Types(s) _____

SIGNATURE

I/We, the undersigned am/are the **(owner(s))**, **(duly authorized agent)**, **(Circle One)** of the aforementioned property. By execution of my/our signature, I/we do hereby officially apply for a site plan and design review or final development plan as indicated above.

Signature(s):  Date 11-21-19
Date _____

SITE PLAN AND DESIGN REVIEW, AND FINAL DEVELOPMENT PLAN APPLICATION CHECKLIST

APPLICATION SUBMITTAL REQUIREMENTS

- | | Yes | No | |
|-----|-------------------------------------|--------------------------|---|
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> | 1. Complete application packet |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> | 2. Application fee |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> | 3. 10 complete sets of full sized plans printed including color elevations, folded |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> | 4. Digital copies (PDF) of the completed application, plans, and legal description |
| N/A | <input type="checkbox"/> | <input type="checkbox"/> | 5. Copy of all covenants and restrictions applicable to the development, if applicable. |
| | <input type="checkbox"/> | <input type="checkbox"/> | 6. Sign posting affidavit. |
| | <input type="checkbox"/> | <input type="checkbox"/> | 7. Evidence of the establishment of the agency for the ownership and maintenance of any common open space and all assurances of the financial and administrative ability of such agency or document dedicating the facilities to the city. |
| N/A | <input type="checkbox"/> | <input type="checkbox"/> | 8. Deeds of dedication for all rights-of-way or easements required as a result of preliminary development plan approval if conveyance thereof is not to be made by plat or by the filing of the final development plan. |
| | <input type="checkbox"/> | <input type="checkbox"/> | 9. Evidence of satisfaction of any conditions of the preliminary development plan approval which were conditions precedent to consideration of the final development plan. |
| | <input type="checkbox"/> | <input type="checkbox"/> | 10. Final Stormwater Management Plan (2 printed and 1 digital copy) |
| N/A | <input type="checkbox"/> | <input type="checkbox"/> | 11. Final Traffic Impact Study (TIS) as required by the Access Management Code. (2 printed and 1 digital copy) |

PLAN REQUIREMENTS

- | | | | |
|--|-------------------------------------|--------------------------|---|
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> | 1. Vicinity map to scale with north point showing railroads, major streams or rivers, and public streets in the vicinity of the site. (Suggested scale of 1" = 1000'.) |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> | 2. Boundary lines of the subdivision shall be enclosed with one continuous bold line, showing approximate dimensions (bearings and distances). |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> | 3. Scale, legend, and north arrow clearly shown, with orientation at top or left as north (not less than 1"=100' scale). |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> | 4. Dates of plan preparation and/or plan revisions. |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> | 5. Ownership, zoning, and land use of the site and surrounding properties within 200 feet; both existing and proposed. |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> | 6. Names, addresses, and phone numbers of all companies, firms, or individuals involved in the preparation of the plan (i.e. developer, property owner, architect, landscape architect, planner, engineer, surveyor, etc.) |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> | 7. Setback lines: building and parking with dimensions in feet. |

Yes No

- 8. **Setback lines:** building and parking with dimensions in feet.
- 9. **Lots and tracts identified clearly**, with blocks numbered or lettered boldly and clearly in the center of the block, and lot dimensions with bearings and distances, and area in square feet and acres.
- 10. **Note on the plan indicating intended ownership, purpose, and maintenance responsibilities** for any parcels labeled as tracts.
- 11. **Setback lines:** building and parking with dimensions in feet.
- 12. **Location of existing open space, alleys, parks, streams, ponds, vegetation** or other similar features within plan area, and whether they are to be retained or removed.
- 13. **Existing utilities**, including sanitary sewer, force main, water main, gas mains, culverts and storm sewer pipe, street lights, electric conduits, and invert elevations of sewers at points of proposed connection.
- N/A 14. **Proposed street network**, including right-of-way, bearings, tangents, dimensions, and horizontal and vertical curvature data along the centerline of each street.
- N/A 15. **All public streets within the plan conform** to the applicable minimum design standards set forth in the Land Development Code and Technical Specifications. Design of crosswalks, on street parking, shoulder, pavement and lane dimensions.
- N/A 16. **Intersection site distance analysis.**
- 17. **Driveways, parking lots and stalls, aisles, and loading** and service areas and docks and dimensions.
- N/A 18. **Median breaks and turning lanes**, including sizes and radii; both existing and proposed.
- 19. **Vehicle maneuvering/turning templates** reflecting the site can accommodate a minimum SU-30 class vehicles (for emergency access to all areas of the site), and the appropriate site-design vehicle for any other special areas of the site (such as delivery or dock areas, etc.), as necessary.
- 20. **Existing and proposed sidewalks** and/or trail locations including proposed widths.
- 21. **Proposed utilities**, including approximate location of sanitary sewer, water main, and street lights.
- 22. **Existing and proposed easements** with dimensions. Existing easements shall be labeled with book and page number.
- 23. **Any area within a federally designated floodplain.** Location, stations, and elevations of the 100-year floodplain within the plan area and 100-year elevations at rear lot corners adjacent to FEMA and Shaded Zone X floodplains. The source of the floodplain information shall be clearly labeled (example: FIRM, Map #20091C0041D, September 27, 1991).
- N/A 24. **Stream corridor boundary** and dimensions.
- N/A 25. **Phasing Plan**, if applicable.

Yes No

- 26. **Planned amenities**, such as fountains, art, outdoor seating, waste receptacles, etc.
- 27. **Any buildings within the plan area** which are existing or proposed, with status indicated including dimensions (i.e. to remain, remodel, new, to be demolished as part of Phase 2, etc.).
- 28. **Distances between all buildings**, between buildings and property lines, and between parking areas and property lines.
- X 29. **Existing Topography and Proposed Grading** of the area contained in the plan area and within 20 feet of the boundary shown by 2-foot contour intervals. Contour lines shall be legible but not overpowering.
- 30. **Building elevations** depicting the architectural style, size, exterior construction materials, and colors for each type of building proposed, and dimensions. If an architectural theme is planned, elaboration on the intent and extent of the scheme and details shall be provided. Elevations shall provide sufficient information to determine relationships between various elements, building height, proportion, bedroom counts, approximate square footage, etc. Rooftop and ground-mounted mechanical equipment shall be shown on elevations.
- 31. **Screen walls, fences, trash enclosures, and mail kiosks** (existing and proposed), including location, height, and materials.
- 32. **Table indicating lots, land areas, buildings, number of stories, building coverage, and all other quantities relative** to the submitted plan that are required to determine compliance with City codes. For commercial buildings, indicate service floor areas and number of tenant spaces, if applicable. For residential buildings, indicate dwelling units; if multiple building types, provide an additional table indicating dwelling units by building type.
- 33. **Table indicating required and proposed parking spaces.**
- 34. **Landscaping plan and table** indicating all proposed landscaping, noting common and botanical names, numbers, and planting sizes. Note all other areas to be sodded.
- N/A 35. **All exterior sign locations.** Include elevations and details.
- N/A 36. **All outside lighting facilities:** Location, height, wattage, and type including shielding, for buildings, parking lots and outdoor storage areas.
- N/A 37. **Outdoor storage areas**, including location, dimensions and design.
- 38. **Planned amenities**, such as fountains, art, outdoor seating, waste receptacles, etc.
- 39. **Preliminary design and location of all proposed storm drainage** conveyance, detention and treatment facilities and locations of existing drainage facilities.

I hereby submit all information required for a site plan and design review, or final development plan application review. I understand that failure to provide the required information may result in a postponement of my request for review until all information has been submitted.

 Signature of Applicant

11-21-19

 Date

PROJECT NUMBER / TITLE: Z-19-05 Rezoning from RUR to R-1 with an associated Preliminary Plat PP-19-06 for Hilltop Ridge Subdivision

PROCESS INFORMATION

Type of Request: Rezoning and Preliminary Plat
Date Received: December 13, 2019

APPLICATION INFORMATION

Applicant: Brett Cox, Renaissance Infrastructure Consulting
Owner: Sunrise Investments Corporation
Parcel ID: 0461352202001002020
Location: Part of the West Half of the Northwest Quarter of Section 22, Township 14 South, Range 22 East; containing approximately 71 acres between 167th Street and Madison Road just north of St. Johns Trace IV Subdivision.

REQUESTED ACTION

The applicant has requested approval of a rezoning from RUR (Rural, Agricultural uses and single family dwellings) District to R-1 (Single-Family Residential) District and an associated preliminary plat for the Hilltop Ridge, a 150 lot subdivision.

EXISTING ZONING AND LAND USE

Currently the property is zoned RUR (Single-Family Residential) District which is a Johnson County zoning district with undeveloped agricultural land on the property. Properties that are annexed retain their County zoning until they are formally rezoned within the City.

SURROUNDING ZONING AND LAND USE

Zoning	Use(s)
North of subject property	
R-1 (Single-Family Residential) District, RP-3 (Planned Garden Apartment) District, and County RUR (Rural, Agricultural uses and Single-Family dwellings) District	Farmsteads and Single-Family Residences
East of subject property	
County RUR (Rural, Agricultural uses and Single-Family dwellings) District	Vacant property
South of subject property	
R-1 (Single-Family Residential) District	Single-Family Residences

undeveloped land that provides a “clean slate” for future residential development. The Comprehensive Plan addresses these growth areas as having three major components that help to ensure the community’s goals of providing high quality neighborhoods that satisfy demand for a broad type of housing. These goals are; neighborhood character, connectivity, and open space preservation & conservation design. The design and layout the applicant is proposing is consistent with the goals of the Comprehensive Plan.

STAFF ANALYSIS - ZONING MAP AMENDMENT

This section highlights contents of the application which may merit particular consideration in regard to zoning intent and standards. A full analysis of applicable zoning regulations is available upon request.

This application is for a rezoning to a base district (not a planned development). The applicant has also submitted a preliminary plat with average lot sizes of 10,000 to 15,000 square feet indicating use of the Detached House – Suburban building type.

17.03.030 (B) Review Criteria:

1. The character of the neighborhood, including the design of streets, civic spaces and other open spaces; the scale, pattern and design of buildings; and the operation and uses of land and buildings;

Staff Comment: *The character of the area is generally single-family residential, rural residential and agricultural. Staff finds this rezoning appropriate for the character of the area, as it provides a similar use to the existing single family to the south and north.*

2. The zoning and use of properties nearby, and the compatibility with potential uses in the proposed district with these zoning districts;

Staff Comment: *The properties to the west and east are zoned County RUR Rural Residential District (developed with single-family homes and agricultural crop land). The properties to the north and south are zoned R-1 Single-Family Residential District (developed with single-family homes). The proposed zoning district and potential use are found to be compatible to the existing residential to the south and north. This should support compatibility.*

3. The suitability of the subject property for the uses to which it has been restricted;

Staff Comment: *While in the County, the subject property was zoned for agriculture and large lot residential. This was an appropriate residential density when utility infrastructure was not available. However, the area is urbanizing with the planned growth of the Gardner community. The property is better suited for an R-1 zoning designation, which will provide a buffer between the existing rural residential in the County.*

4. The extent to which removal of the restrictions will detrimentally affect nearby property;

Staff Comment: *The most pertinent current restriction is the minimum lot size of 10 acres. Removing that will result in increased density, traffic, stormwater impact, etc. However, the applicant is providing for the continuation of Madison Street, which will also offer another important road connection for existing subdivisions to the south, and improved public safety. This should benefit nearby properties.*

5. The length of time the subject property has remained vacant as zoned;

Staff Comment: *The subject property has been farmland at least since the 1940's.*

6. The relative gain to economic development, public health, safety and welfare by the current restrictions on the applicant's property as compared to the hardship imposed by such restrictions upon the property;

Staff Comment: *Single family development within this area will provide a positive gain to the City's economic growth. Also, through the development of new streets that provide inter-connectivity between neighborhoods the applicant is helping to provide a more efficient means of travel within the northwest area of the community.*

7. The recommendations of professional staff;

Staff Comment: *Staff recommends approval of the rezoning application.*

8. The conformance of the requested change to the Comprehensive Plan, and in particular the relationship of the intent statement for the proposed district and how the specific application furthers that intent statement in relation to the Comprehensive Plan;

Staff Comment: *As stated previously, the Comprehensive Plan identifies the property for low-density residential, which translates to the R-1 zoning district as proposed. The intent of the R-1 Single-Family Residential District is "to provide residential living in a low-density neighborhood setting, with access to supporting uses such as schools, churches, parks and other public facilities which reinforce residential neighborhoods". This district can be used to implement development patterns identified in the new growth areas where the subject property is located.*

9. The extent to which the proposed use would adversely affect the capacity or safety of any utilities, infrastructure or public services serving the vicinity; and

Staff Comment: *The proposed zoning change and use would not adversely affect the capacity of any utilities, infrastructure or public service in the vicinity. The infrastructure is in place for the use and would not adversely impact the surrounding area.*

10. Other factors relevant to a particular proposed amendment or other factors which support other adopted policies of the City.

Staff Comment: *The rezoning application to R-1, single-family development supports the adopted policy in the Comprehensive Plan for new residential growth areas. This proposal also*

supports the extension of our trail system through the inter-connection with the Kill Creek Trail which is consistent with the adopted Park System Master Plan.

STAFF ANALYSIS - PRELIMINARY PLAT

17.03.020 (D1) Review Criteria:

1. The application is in accordance with the Comprehensive Plan and in particular the physical patterns, arrangement of streets, blocks, lots and open spaces, and public realm investments that reflect the principles and concepts of the plan.

Staff Comment: *The application is in accordance with the Comprehensive Plan with regard to the physical patterns, arrangement of streets, blocks, lots and open spaces, and public realm investments that reflect the principles of the plan. The applicant is proposing a preliminary plat for 150 lots, two tracts of land, and right-of-way dedication on approximately 71 acres. Properties directly adjacent to the development are primarily single-family residential and agricultural. The Comprehensive Plan also calls for plans in the "New Residential Growth" areas to implement a sidewalk/trail infill program that includes pedestrian through-access, connecting residential subdivisions through footpaths and trails. This subdivisions will be providing cross connectivity with St. Johns Trace Subdivision to the south and will provide the means for connecting with Symphony Farms Subdivision to the north with sidewalks, trails and streets.*

2. Compliance with the requirements of this Land Development Code, and in particular the blocks and lots proposed are capable of meeting all development and site design standards under the existing or proposed zoning.

Staff Comment: *The plat meets the site design standards regarding lot size minimum, block length, cul-de-sac length and easements. The plan complies with the requirements of the Gardner Land Development Code in that the blocks and lots proposed can meet all development and site design standards. The development is proposed to be a Detached House - Suburban building type for single-family residential, with a Suburban Yard frontage design type. While this development is within the service area of Celebration Park, they are still dedicating approximately 10% of the space to open and civic space. The street and sidewalk minimums have not been met with the existing preliminary plat lay-out. 6' sidewalks will need to be provided along the new proposed Madison Street and a 10' trail will be required along 167th Street. Also, 167th Street R-O-W will need to be increased from 40' to 60'. With these minor corrections to the plat, this development will be in compliance with the development and site design standards of the Code. These are recommended conditions of approval.*

3. Any phasing proposed in the application is clearly indicated and demonstrates a logical and coordinated approach to development, including coordination with existing and potential development on adjacent property.

Staff Comment: *There are five (5) phases proposed for this plat. The Fire Department has required that after phase two (2) is completed and before any further development can occur, a secondary access will be provided to the south. This property shares a border with a subdivision to the south and should be able to provide secondary access with the extension of an existing street after phase two (2) has been developed.*

4. Any impacts identified by specific studies or technical reports, including a preliminary review of storm water, are mitigated with generally accepted and sound planning,

engineering, and urban design solutions that reflect long-term solutions and sound fiscal investments.

Staff Comment: *The Stormwater Plans have not yet been approved. No impacts in need of mitigation were identified by the technical reports therefore this criteria is met.*

5. The application does not deter any existing or future development on adjacent property from meeting the goals and policies of the Comprehensive Plan.

Staff Comment: *This plat application will not deter any existing or future development on adjacent property. The adjacent property is mainly developed with single-family residential which is what is planned for this property which is consistent with the comprehensive plan.*

6. The design does not impede the construction of anticipated or planned future public infrastructure within the area.

Staff Comment: *This application does not impede the construction of planned or future public infrastructure. This project will connect incomplete streets in the area and provide more options for people access 167th Street.*

7. The recommendations of professional staff, or any other public entity asked to officially review the plat.

Staff Comment: *Staff recommends approval of the preliminary plat of Hilltop Ridge with conditions outlined below.*

STAFF ANALYSIS – INFRASTRUCTURE / OTHER

ELECTRIC – Electric is currently installed both to the north and south of the subject property and is to be extended into the project from there.

SANITARY SEWER – The subject property is within the Gardner sanitary sewer service area. Sanitary sewer service will be extended throughout the subdivision by a gravity system that flows to the north and will be treated at the City’s northern waste water treatment facility.

Staff Comment: *Electrical, water, or sanitary sewer infrastructure are not readily available throughout the site, the developer will be required to extend the services to all lots. City Electric is working on getting power transferred over from Evergy.*

STORM WATER

Two stormwater detention ponds have been integrated into the project. A Stormwater Management Plan has not been revised based on the request of the Public Works Department. This will be a condition of approval.

ROADWAY NETWORK; VEHICULAR ACCESS; SIDEWALKS

Internal road networks within the subject property will connect to 167th Street to the north and with Osage Street to the south.

FIRE SERVICE

Johnson County Fire District #1, as previously mentioned, has requested that secondary access be provided once “Phase II” is developed. Phase III and all other further phases will only be

allowed if a secondary access is provided into this subdivision. This secondary access will allow for fire and other emergency vehicles to gain access into this subdivision in case the main entrance is blocked. This will be a recommended condition of approval for Phases III thru V.

ACTIONS

Per Section 17.03.010 (G) of the *Gardner Land Development Code*, a review body may take the following actions (or recommend the following actions):

1. Approve the application.
2. Approve the application with conditions or modifications to lessen or mitigate a potential impact from the proposed application.
3. Deny the application.
4. Continue the application to allow further analysis. The continued application shall not be more than 60 days from the original review without consent of the applicant. No application shall be continued more than once by each review body without consent of the applicant.

EFFECT OF DECISION

Zoning Map Amendment (Rezoning) – Amendments to the official zoning map (rezoning) shall be approved by the Governing Body in the form of an ordinance. Approved changes shall be indicated on the official zoning map by the Director within 30 days following such action.

Preliminary Plat – The approval of the preliminary plat does not constitute an acceptance of the subdivision, but authorizes preparation of the final plat. If the Planning Commission tables a plat, the applicant shall have 60 days to submit information sufficient for approval or the application shall be deemed denied. The applicant may request that a denied preliminary plat be submitted to the Governing Body and the Planning Commission shall submit all information to the Governing Body, which can make a determination consistent with these regulations. The approval of the preliminary plat shall be effective for 18 months, except that any approval of a final plat for any phase specifically indicated on a preliminary plat shall renew the 18-month period. The Planning Commission may grant an extension of this period for up to one year, if the applicant demonstrates substantial progress towards the design and engineering requirements necessary to submit a final plat.

ATTACHMENTS

- I. Rezoning Application
- II. Public hearing mailed notice letters
- III. Preliminary Plat
- IV. Preliminary Plat Application

RECOMMENDATION

Zoning request from RUR (Rural, Agricultural uses and single family dwellings District) to R-1 (Single-Family Residential District)

Staff recommends the Planning Commission recommend approval of case Z-19-05, a rezoning from RUR (Rural, Agricultural uses and single family dwellings District) to R-1 (Single-Family Residential District) for Hilltop Ridge, Tax Id 2F221422-1003, located on the south side of 167th Street approximately 200' west of Kill Creek Road, to the Governing Body.

Recommended Motion:

After review of case Z-19-05, a rezoning from RUR (Rural, Agricultural uses and single family dwellings District) to R-1 (Single-Family Residential District) for Hilltop Ridge, Tax Id 2F221422-1003, located on the south side of 167th Street approximately 200' west of Kill Creek Road, and a staff report dated January 28, 2020, the Planning Commission recommends the Governing Body approve the application.

Preliminary Plat

Staff recommends the Planning Commission approve case PP-19-06, a preliminary plat for Hilltop Ridge, Tax Id 2F221422-1003, located on the south side of 167th Street approximately 200' west of Kill Creek Road.

Recommended Motion:

After review of case PP-19-06, a preliminary plat for Hilltop Ridge, Tax Id 2F221422-1003, located on the south side of 167th Street approximately 200' west of Kill Creek Road and staff report dated January 28, 2020, the Planning Commission recommends the Governing Body approve the applications subject to the following conditions:

1. Provide a 10' wide trail along 167th Street and also extends down along the floodplain located on the northwest side of the development.
2. Provide 60' of ½ right-of-way along 167th Street.
3. Approval of a Stormwater Management Plan by the Public Works Department.

PRELIMINARY PLAT HILLTOP RIDGE

A SUBDIVISION IN THE CITY OF GARDNER, JOHNSON COUNTY, KANSAS

INDEX OF SHEETS

- Preliminary Plat
- Street Network
- Preliminary Grading Plan
- Preliminary Site Utility Plan
- Fire Hydrant Coverage Map
- Preliminary Street Tree Plan
- Typical Sections



LOT AREAS TABLE

Lot No.	Area (SF)	Lot No.	Area (SF)
1	9479	76	12242
2	8400	77	10911
3	13359	78	14976
4	16405	79	22065
5	21680	80	18699
6	38608	81	14378
7	30854	82	13064
8	13349	83	14216
9	11045	84	16345
10	11358	85	19977
11	8400	86	16611
12	9400	87	18909
13	10728	88	15402
14	11635	89	12577
15	12872	90	13267
16	24052	91	17085
17	21293	92	10336
18	22823	93	12225
19	12759	94	10880
20	9100	95	10818
21	11054	96	10939
22	13410	97	10061
23	13734	98	10061
24	13431	99	10061
25	11851	100	10061
26	11990	101	13875
27	14945	102	14897
28	12345	103	11682
29	12344	104	11721
30	15326	105	11760
31	24690	106	11799
32	12671	107	12834
33	24360	108	12479
34	11245	109	11693
35	11807	110	11044
36	12794	111	10734
37	13110	112	10775
38	15023	113	11729
39	11777	114	11254
40	15052	115	14905
41	17282	116	18309
42	13018	117	16708
43	12707	118	10885
44	12397	119	11682
45	12868	120	11925
46	15204	121	13894
47	21879	122	12282
48	16148	123	21290
49	13347	124	13763
50	22728	125	12852
51	24114	126	12715
52	20192	127	15850
53	16631	128	11068
54	13882	129	10761
55	12899	130	10685
56	11415	131	10920
57	10726	132	13642
58	10563	133	16701
59	12214	134	17419
60	12387	135	19561
61	11411	136	27107
62	14799	137	23959
63	18227	138	51056
64	14739	139	13221
65	20951	140	11499
66	19261	141	12049
67	18635	142	15704
68	15807	143	11456
69	14206	144	11676
70	11429	145	19838
71	11789	146	19303
72	12028	147	15882
73	14967	148	12751
74	16740	149	11994
75	14117	150	16328

SITE PHASING TABLE

Phase No.	No. of Lots	Approx Date
Phase I	31 Lots	Spring 2020
Phase II	28 Lots	Spring 2021
Phase III	32 Lots	Spring 2022
Phase IV	34 Lots	Spring 2023
Phase V	25 Lots	Spring 2024

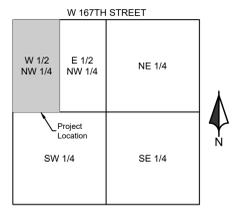
OPEN & CIVIC SPACE AREA TABLE

Phase No.	Tract No.	Tract Use	SF
Phase I	Tract A	Private Open Space	25,942
	Tract B	Detention	52,905
	Tract C	Private Open Space	65,683
Phase II	Tract D	Private Open Space	44,952
Phase IV	Tract E	Private Open Space	112,269
	Tract F	Detention	55,107
Phase V	Tract H	Detention	31,204

NOTE:
There will be 5' sidewalks along all streets within the subdivision.

NOTE:
All private tracts shall be owned and maintained by the Hilltop Ridge Home Owners Association.

PROPERTY ZONING:
Existing Zoning R1
Proposed Zoning R1



SECTION 22-14-22
Scale 1" = 2000'

UNPLATTED
Heartland Family Farms, LLC
Zone: RUR
Use: Vacant

LEGAL DESCRIPTION:

All that part of the West Half of the Northwest Quarter of Section 22, Township 14 South, Range 22 East, Johnson County, Kansas, described as follows: Commencing at the Northwest corner of the Northwest Quarter of said Section 22; thence North 88 degrees 16 minutes 55 seconds East, along the North line of the Northwest Quarter of said Section 22, a distance of 652.13 feet to the point of beginning; thence South 1 degree 43 minutes 05 seconds East, a distance of 142.44 feet; thence South 54 degrees 07 minutes 26 seconds West, a distance of 247.56 feet; thence South 17 degrees 40 minutes 26 seconds West, a distance of 899.98 feet; thence South 25 degrees 28 minutes 37 seconds West, a distance of 300.35 feet to a point on the West line of the Northwest Quarter of said Section 22; thence South 2 degrees 10 minutes 37 seconds East, along the West line of the Northwest Quarter of said Section 22, a distance of 1271.06 feet to the Southwest corner of the Northwest Quarter of said Section 22; thence North 88 degrees 16 minutes 13 seconds East, along the South line of the Northwest Quarter of said Section 22, a distance of 1329.32 feet to the Southeast corner of the West Half of the Northwest Quarter of said Section 22; thence North 2 degrees 22 minutes 27 seconds West, along the East line of the West Half of the Northwest Quarter of said Section 22, a distance of 2668.43 feet to the Northeast corner of the West Half of the Northwest Quarter of said Section 22; thence South 88 degrees 16 minutes 55 seconds West, along the North line of the Northwest Quarter of said Section 22, a distance of 668.00 feet to the point of beginning, containing 71.15 acres, more or less.

SURVEYOR:
Renaissance Infrastructure Consulting
5015 NW Canal Street, Suite 100
Riverside, MO 64150
(816) 800-0950

ENGINEER:
Renaissance Infrastructure Consulting
5015 NW Canal Street, Suite 100
Riverside, MO 64150
(816) 800-0950

DEVELOPER:
Dennis Pugh
18421 Hickory Street
Gardner, KS 66030
(913) 220-3927



Renaissance Infrastructure Consulting
5015 NW Canal Street, Suite 100
Riverside, Missouri 64150
www.ric-consulting.com
816.800.0950
MISSOURI CERTIFICATE OF AUTHORITY No. Z00032630

Preliminary Plat
19-0186
Hilltop Ridge

Preliminary Plat

NO.	DATE	BY	DESCRIPTION
1	JMD	BC	AS PER CITY COMMENTS
2	JMD	BC	ORIGINAL SUBMITTAL
3	JMD	BC	REVISION



1	JAMES BC	01/17/20	AS PER CITY COMMENTS
2	JAMES BC	12/18/19	ORIGINAL SUBMITTAL
3	BOB BC	1/16/20	REVISION

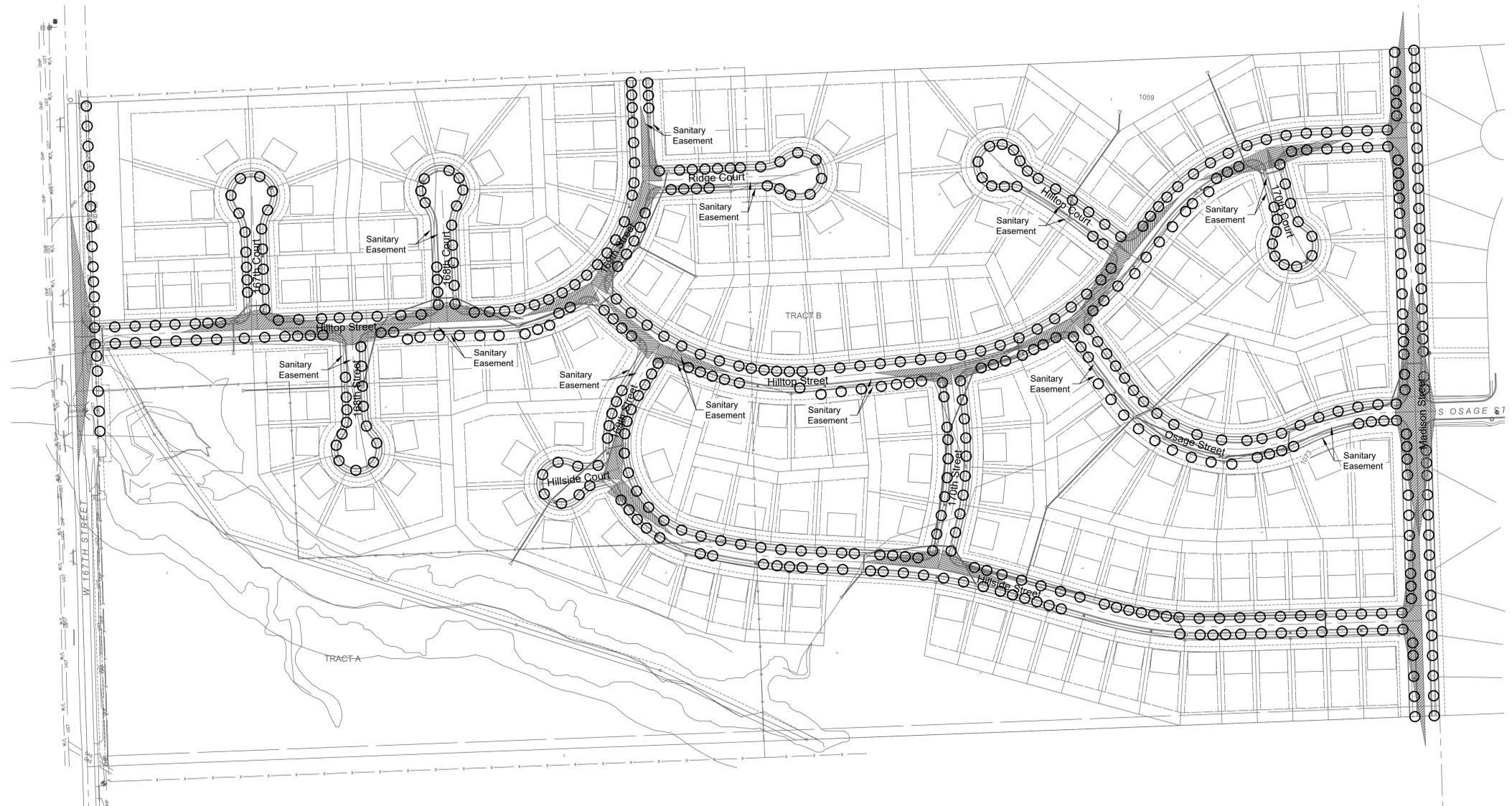
**Renaissance
Infrastructure
Consulting**

816-800-0750
1615 NW Canal Street, Suite 100
Portland, Missouri 64644
www.rii-consulting.com

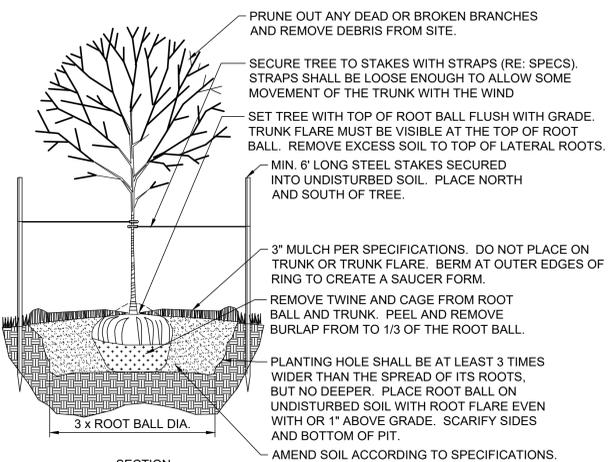
MISSOURI CERTIFICATE OF AUTHORITY No. Z000033630



19-0186-01-001-001.dwg
 1/16/20 10:00 AM
 JAMES BC

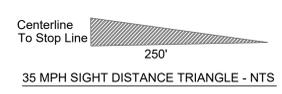
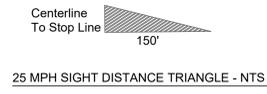


NOTES:
1. TREES THAT DO NOT MEET THE SIZE REQUIREMENT WILL BE REJECTED
2. TREES SHALL BE INSPECTED BY OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.



Street Tree Requirements at 1 tree/ 40'

Street	Length	Required Trees	Provided Trees
167th Street	- 660'	17	17
167th Court	- 622'	16	16
168th Street	- 585'	15	15
168th Court	- 615'	16	16
Ridge Court	- 715'	18	20
169th Street	- 914'	22 each side	40
Hillside Street	- 2427'	36 each side	73
Hillside Court	- 320'	8	8
Hilltop Street	- 2869'	71 each side	142
Hilltop Court	- 720'	18	18
170th Court	- 490'	13	13
Osage Street	- 800'	20 each side	40
Madison Street	- 1329'	33	66



CONCEPT PLANT SCHEDULE

STREET TREE - 2" CAL. B&B	505
Acer rubrum 'October Glory' TM / October Glory Maple	
Ginkgo biloba 'Princeton Sentry' / Princeton Sentry Ginkgo	
Gleditsia triacanthos 'Skyline' / Skyline Honey Locust	
Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	
Quercus shumardii / Shumard Red Oak	
Ulmus americana 'Valley Forge' / American Elm	
Zelkova serrata 'City Sprite' TM / City Sprite Zelkova	

- General Notes:
- Street Trees shall be located between the curb and sidewalk unless otherwise shown on plan.
 - Street Trees shall be shifted to avoid utility conflicts.
 - Street Trees shall be spaced 25'-40' o.c. and may be in the sight distance triangle provided 30' of spacing remains between tree and intersection street back of curb, per Gardner Municipal Code 17.04.010 Street Network Design.

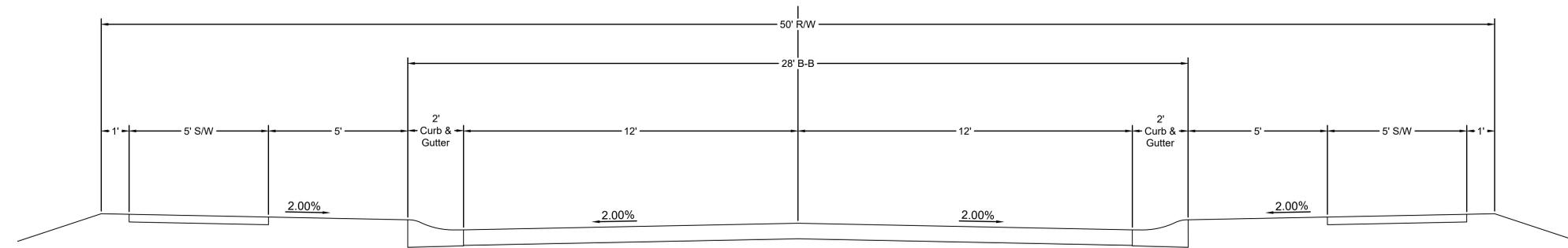


Renaissance
Infrastructure
Consulting

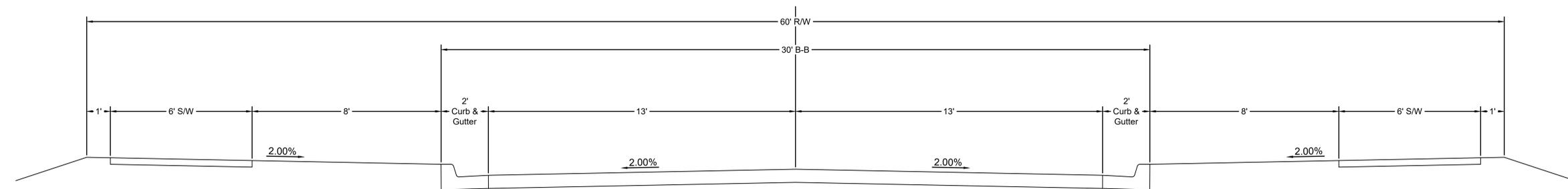
5015 NW CANAL STREET, SUITE 100
RIVERBIDE, MISSISSIPPI 39209
WWW.RIC-CONSULT.COM

MISSISSIPPI CERTIFICATE OF AUTHORITY NO. 2010033450

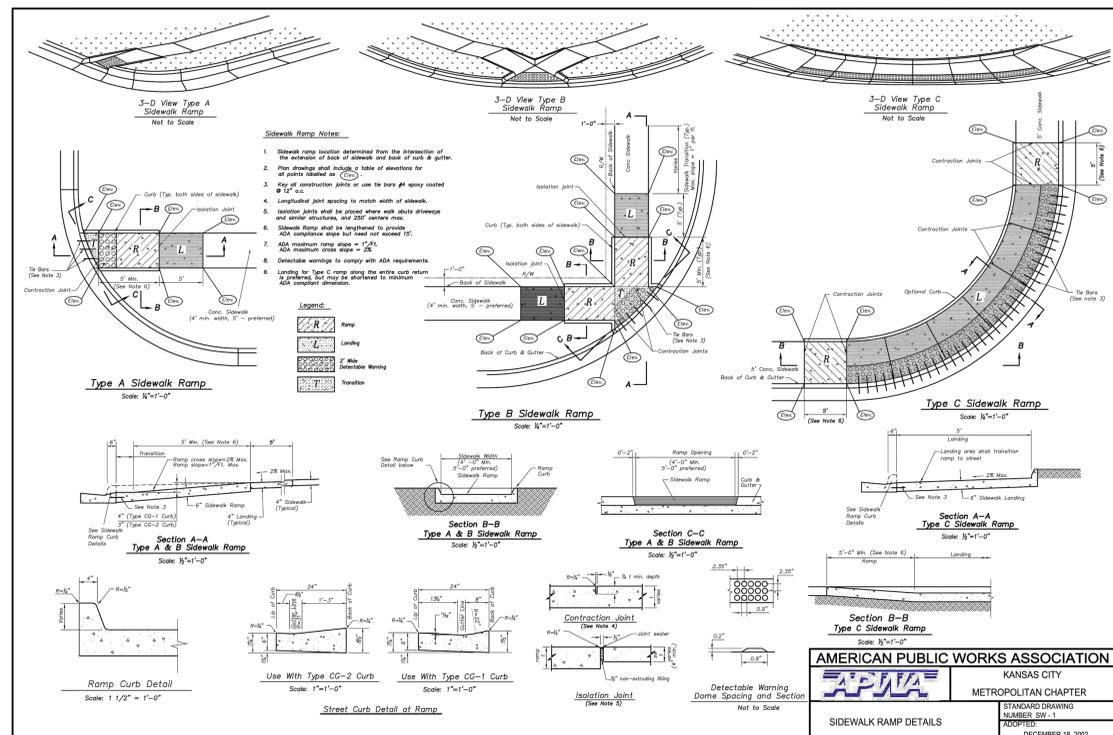
1. JMM/ AG 01/14/20
AS PER CITY COMMENTS
NO. BY DD. DATE



Local Residential Street
(Not to Scale)



Collector-Neighborhood Street
(Not to Scale)



1	JANE BC	10/17/20	AS PER CITY COMMENTS
2	JANE BC	12/15/20	ORIGINAL SUBMITTAL
3	JANE BC	1/14/21	REVISION

Renaissance Infrastructure Consulting
 816.800.0750
 815 SW CANAL STREET, SUITE 100
 PASADENA, MISSOURI 64488
 WWW.RIC-CONSULTING.COM

MISSOURI CERTIFICATE OF AUTHORITY NO. Z000032630



Business & Economic Development
 Planning Division
 120 E. Main St. Gardner, KS 66030
 P: 913.856.0913 | F: 913.856.4562
www.gardnerkansas.gov

ZONING MAP AMENDMENT (REZONING APPLICATION)

Pre-App Date _____
Fee <u>\$875.00 pd</u>
File No. <u>Z-19-05</u>

OWNER INFORMATION

Name(s) Sunrise Investments Corp.
 Contact Patrick B. Miller
 Address P.O. Box 393
 City Stilwell State KS Zip 66085
 Phone (913) 851-1333 Email dennispugh2@gmail.com

APPLICANT/AGENT INFORMATION

Name(s) Renaissance Infrastructure Consulting
 Contact Ryan DaMetz, PE
 Address 132 Abbie Avenue
 City Kansas City State KS Zip 66103
 Phone (913) 317-9500 Email rdametz@ric-consult.com

SITE INFORMATION

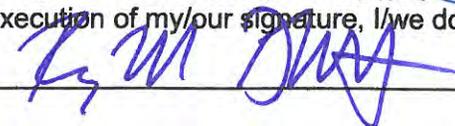
Property Address/Location: SW of Intersection of Kill Creek Road & 167th Street (see Tract B of attached Exhibit)
 Legal Description (Attach If Necessary) Attached
 Total Site Area 71.15 Acres
 Present Zoning A (Agricultural) Proposed Zoning R-1 (Single Family Residential)
 Present Land Use Future Growth Area Proposed Land Use Low Density Residential
 Proposed Building Type(s) Single Family Residential

Please indicate a reason for the request:

Owner would like to develop property into single family home residential subdivision.

SIGNATURE

I/We, the undersigned am/are the (owner(s)), (duly authorized agent), (Circle One) of the aforementioned property. By execution of my/our signature, I/we do hereby officially apply for rezoning as indicated above.

Signature(s):  Date 12/13/2019
 _____ Date _____

ZONING MAP AMENDMENT (REZONING) APPLICATION CHECKLIST

APPLICATION SUBMITTAL REQUIREMENTS

- | Yes | No | |
|-------------------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 1. Complete application packet |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 2. Application fee |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 3. Digital copies (PDF) of the completed application and legal description (Word) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 4. Sign posting affidavit |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 5. Preliminary Development Plan application and plans (if rezoning to a planned development) |

Please respond to the following statements:

Anticipated relationship of proposed zoning to economic development or public health, safety and welfare:

The project consists of public and private improvements for a 150-lot single-family development, and five tracts on approximately 71 acres of previously undeveloped property. Common areas will be maintained by the homeowners' association. Homeowners must adhere to the codes, covenants, and restrictions prepared for the project to assure ongoing maintenance and upkeep of their personal residences and common properties. This development will increase the tax base for the developed lots and will provide ample permanent greenspace within the development.

Anticipated impact of proposed zoning/use on existing public infrastructure:

There are new stormwater detention facilities to be constructed that will attenuate the peak runoff rate to less than existing conditions. The private open space will also retain much of the existing natural vegetation and natural waterways. Runoff from within the development will be conveyed in an enclosed storm sewer system and released into the detention facilities. Modern and safe, walkable streets with sidewalks and curb and gutter will be constructed. New sanitary sewers will be constructed that will minimize infiltration and inflow within the system conveyed to the treatment facility.

I hereby submit all information required for rezoning application review. I understand that failure to provide the required information may result in a postponement of my request for review until all information has been submitted.


 Signature of Applicant

12/13/2019
 Date



OWNER AFFIDAVIT

I/WE Sunrise Investments Corp., hereby referred to as the "Undersigned", being of lawful age, do hereby on this 24th day of October, 2019, make the following statements to wit:

1. I/We the Undersigned, on the date first above written, am/are the lawful owner(s) in fee simple absolute of the following described real property:

See "Exhibit A, Legal Description" attached hereto and incorporated herein by reference.

2. I/We the undersigned, have previously authorized and hereby authorize Renaissance Infrastructure Consulting (Herein referred to as "Applicant"), to act on my/our behalf for the purpose of making application with the City of Gardner, regarding Tract B (see attached Exhibit) (common address), the subject property, or portion thereof. Such authorization includes, but is not limited to, all acts or things whatsoever necessarily required of Applicant in the application process. I/We further attest that I/We agree to be legally bound by the application made on our behalf by applicant and the resultant action upon such application by the City of Gardner.

3. It is understood that in the event the Undersigned is a corporation or partnership then the individual whose signature appears below for and on behalf of the corporation or partnership has in fact the authority to so bind the corporation or partnership to the terms and statements contained within this instrument.

IN WITNESS THEREOF, I, the Undersigned, have set my hand and seal below.

B. Miller
Owner

Owner

STATE OF Kansas
COUNTY OF Johnson

The foregoing instrument was acknowledged before me on this 24th day of October, 2019, by Brian Miller

My Commission Expires: 2/21

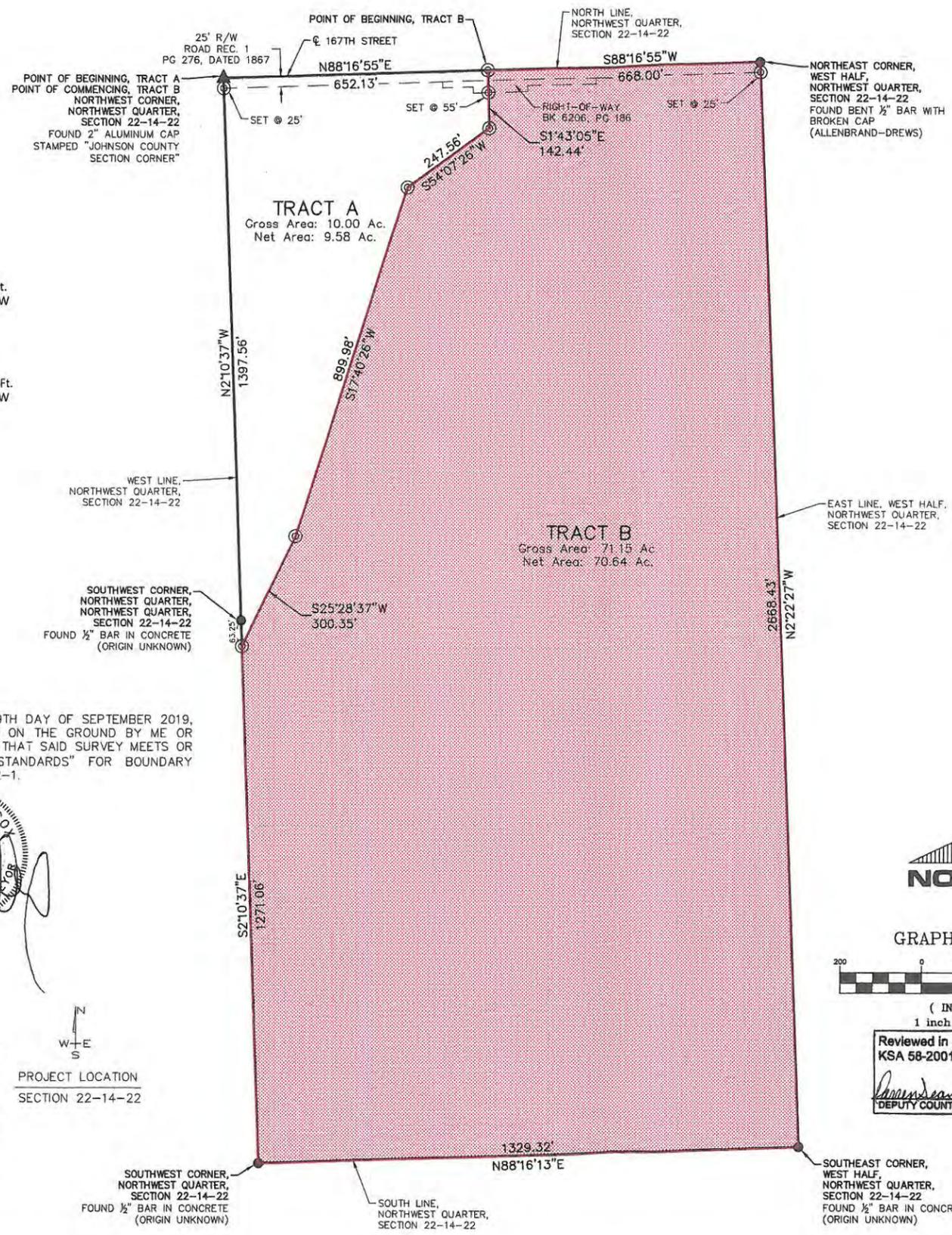
[Signature]
Notary Public

Notary Public-State of Kansas
Marjorie Minnich
My Appointment Expires 2/21

Exhibit A, Legal Description

All that part of the West Half of the Northwest Quarter of Section 22, Township 14 South, Range 22 East, Johnson County, Kansas, described as follows: Commencing at the Northwest corner of the Northwest Quarter of said Section 22; thence North 88 degrees 16 minutes 55 seconds East, along the North line of the Northwest Quarter of said Section 22, a distance of 652.13 feet to the point of beginning; thence South 1 degree 43 minutes 05 seconds East, a distance of 142.44 feet; thence South 54 degrees 07 minutes 26 seconds West, a distance of 247.56 feet; thence South 17 degrees 40 minutes 26 seconds West, a distance of 899.98 feet; thence South 25 degrees 28 minutes 37 seconds West, a distance of 300.35 feet to a point on the West line of the Northwest Quarter of said Section 22; thence South 2 degrees 10 minutes 37 seconds East, along the West line of the Northwest Quarter of said Section 22, a distance of 1271.06 feet to the Southwest corner of the Northwest Quarter of said Section 22; thence North 88 degrees 16 minutes 13 seconds East, along the South line of the Northwest Quarter of said Section 22, a distance of 1329.32 feet to the Southeast corner of the West half of the Northwest Quarter of said Section 22; thence North 2 degrees 22 minutes 27 seconds West, along the East line of the West Half of the Northwest Quarter of said Section 22, a distance of 2668.43 feet to the Northeast corner of the West Half of the Northwest Quarter of said Section 22; thence South 88 degrees 16 minutes 55 seconds West, along the North line of the Northwest Quarter of said Section 22, a distance of 668.00 feet to the point of beginning, containing 71.15 acres, more or less.

30 CD KS BK: 201910 PG: 002932
 20191009-0002932 10/30/2019
 Pages: 1 F: \$21.00 \$129.00
 Register of Deeds 120190956100



ERROR OF CLOSURE:

TRACT A
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 Error Closure: 0.0045 Course: N28°55'32\"/>

Precision 1: 808893.33

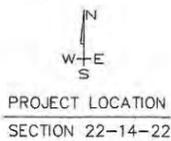
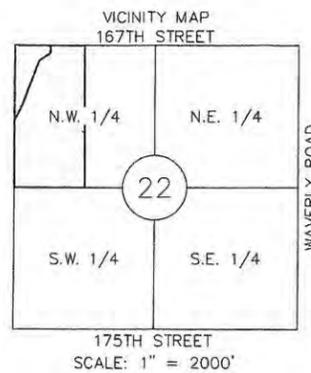
TRACT B
 Perimeter: 7527.13' Area: 3099214.71 Sq. Ft.
 Error Closure: 0.0070 Course: S39°01'41\"/>

Precision 1: 1075304.29

LEGEND

- ▲ MONUMENT FOUND AS DESCRIBED
- BAR FOUND AS DESCRIBED
- ⊙ SET 1/2" x 24" REBAR WITH PLASTIC KS CLS 93 CAP

THIS IS TO CERTIFY THAT ON THE 19TH DAY OF SEPTEMBER 2019, THIS FIELD SURVEY WAS COMPLETED ON THE GROUND BY ME OR UNDER MY DIRECT SUPERVISION AND THAT SAID SURVEY MEETS OR EXCEEDS THE "KANSAS MINIMUM STANDARDS" FOR BOUNDARY SURVEYS PURSUANT TO K.A.R. 66-12-1.



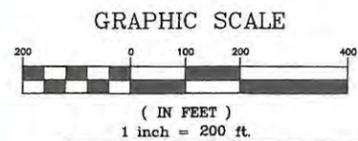
LEGAL DESCRIPTIONS:

PARENT TRACT
 (per deed Book 201307, Page 003161)
 West Half of the Northwest Quarter (W/2 NW/4) in Section Twenty-two (22), Township Fourteen (14) South, Range Twenty-two (22) East, in Johnson County, Kansas

TRACT A
 All that part of the West Half of the Northwest Quarter of Section 22, Township 14 South, Range 22 East, Johnson County, Kansas, described as follows: Beginning at the Northwest corner of the Northwest Quarter of said Section 22; thence North 88 degrees 16 minutes 55 seconds East, along the North line of the Northwest Quarter of said Section 22, a distance of 652.13 feet; thence South 1 degree 43 minutes 05 seconds East, a distance of 142.44 feet; thence South 54 degrees 07 minutes 26 seconds West, a distance of 247.56 feet; thence South 17 degrees 40 minutes 26 seconds West, a distance of 899.98 feet; thence South 25 degrees 28 minutes 37 seconds West, a distance of 300.35 feet to a point on the West line of the Northwest Quarter of said Section 22; thence North 2 degrees 10 minutes 37 seconds West, along the West line of the Northwest Quarter of said Section 22, a distance of 1397.56 feet to the point of beginning, containing 10.00 acres, more or less.

TRACT B
 All that part of the West Half of the Northwest Quarter of Section 22, Township 14 South, Range 22 East, Johnson County, Kansas, described as follows: Commencing at the Northwest corner of the Northwest Quarter of said Section 22; thence North 88 degrees 16 minutes 55 seconds East, along the North line of the Northwest Quarter of said Section 22, a distance of 652.13 feet to the point of beginning; thence South 1 degree 43 minutes 05 seconds East, a distance of 142.44 feet; thence South 54 degrees 07 minutes 26 seconds West, a distance of 247.56 feet; thence South 17 degrees 40 minutes 26 seconds West, a distance of 899.98 feet; thence South 25 degrees 28 minutes 37 seconds West, a distance of 300.35 feet to a point on the West line of the Northwest Quarter of said Section 22; thence North 88 degrees 16 minutes 13 seconds East, along the South line of the Northwest Quarter of said Section 22, a distance of 1329.32 feet to the Southeast corner of the West Half of the Northwest Quarter of said Section 22; thence North 2 degrees 22 minutes 27 seconds West, along the East line of the West Half of the Northwest Quarter of said Section 22, a distance of 2668.43 feet to the Northeast corner of the West Half of the Northwest Quarter of said Section 22; thence South 88 degrees 16 minutes 55 seconds West, along the North line of the Northwest Quarter of said Section 22, a distance of 668.00 feet to the point of beginning, containing 71.15 acres, more or less.

PREPARED FOR:
 D&Z EXPLORATION
 P.O. BOX 159
 ST. ELMO, ILLINOIS 62458
 PHONE: (618) 829-3274
 CONTACT: ZANE BELDEN



Reviewed in accordance with
 KSA 58-2001 to 2005
Matthew R. Cox 10-8-19
 DEPUTY COUNTY SURVEYOR DATE

SURVEY
PT. OF NW 1/4
SECTION 22-14-22
JOHNSON COUNTY, KANSAS



CIVIL ENGINEERS
LAND SURVEYORS - LAND PLANNERS
 122 N. WATER STREET
 OLATHE, KANSAS 66061
 PHONE: (913) 764-1076 FAX: (913) 764-8886

Scale: 1"=200' Drawn By: MRC Project: 34761
 Date: 9/13/2019 Checked By: MRC Section: 22-14-22

T:\DRAWINGS_34000\34761 D&Z Exploration Tract Split\042 - W Half NW Qtr 22-14-22 Tract Split.dwg Scale=1:1 Drawn September 19, 2019 - 3:44pm By Matt

ORDINANCE NO. 2631

AN ORDINANCE ANNEXING LAND TO THE CITY OF GARDNER, KANSAS.

WHEREAS, the following described land is located in Johnson County, Kansas;

WHEREAS, a written petition and/or consent for annexation of the following described land, signed by all of the owners thereof, have been filed with the City of Gardner, Kansas pursuant to K.S.A. 12-520(a)(7), as amended; and

WHEREAS, the governing body of the City of Gardner, Kansas, finds it advisable to annex such land.

BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF GARDNER, KANSAS:

Section 1. That the following described land is hereby annexed and made a part of the City of Gardner, Kansas:

Legal Description:

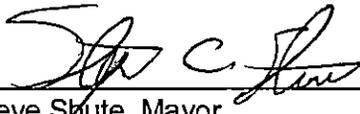
All that part of the West Half of the Northwest Quarter of Section 22, Township 14 South, Range 22 East, Johnson County, Kansas, described as follows: Commencing at the Northwest corner of the Northwest Quarter of said Section 22; thence North 88 degrees 16 minutes 55 seconds East, along the North line of the Northwest Quarter of said Section 22, a distance of 652.13 feet to the point of beginning; thence South 1 degree 43 minutes 05 seconds East, a distance of 142.44 feet; thence South 54 degrees 07 minutes 26 seconds West, a distance of 247.56 feet; thence South 17 degrees 40 minutes 26 seconds West, a distance of 899.98 feet; thence South 25 degrees 28 minutes 37 seconds West, a distance of 300.35 feet to a point on the West line of the Northwest Quarter of said Section 22; thence South 2 degrees 10 minutes 37 seconds East, along the West line of the Northwest Quarter of said Section 22, a distance of 1271.06 feet to the Southwest corner of the Northwest Quarter of said Section 22; thence North 88 degrees 16 minutes 13 seconds East, along the South line of the Northwest Quarter of said Section 22, a distance of 1329.32 feet to the Southeast corner of the West half of the Northwest Quarter of said Section 22; thence North 2 degrees 22 minutes 27 seconds West, along the East line of the West Half of the Northwest Quarter of said Section 22, a distance of 2668.43 feet to the Northeast corner of the West Half of the Northwest Quarter of said Section 22; thence South 88 degrees 16 minutes 55 seconds West, along the North line of the Northwest Quarter of said Section 22, a distance of 668.00 feet to the point of beginning, containing 71.15 acres, more or less.

The entire width of the adjacent right of way immediately North of the above described real property, such right of way being 50 to 90 feet in width, such right of way being identified as 167th street.

Section 2. That this ordinance shall be effective from and after its passage, approval and publication in the official city newspaper.

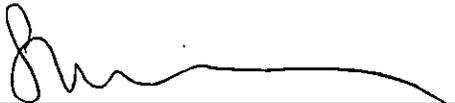
PASSED AND APPROVED by the Governing Body of the City of Gardner, Kansas this
4th day of November, 2019.





Steve Shute, Mayor

ATTEST:



Sharon Rose, City Clerk

APPROVED AS TO FORM:



Ryan B. Derk, City Attorney



PRELIMINARY PLAT APPLICATION

Pre-App Date	_____
Fee	_____
File No.	_____

OWNER INFORMATION

Name(s) Patrick B. Miller & Dennis Pugh
 Contact Patrick B. Miller
 Address P.O. Box 393
 City Stilwell State KS Zip 66085
 Phone (913) 851-1333 Email dennispugh2@gmail.com

APPLICANT/AGENT INFORMATION

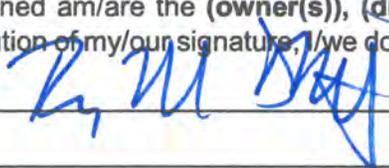
Name(s) Renaissance Infrastructure Consulting
 Contact Ryan DaMetz, PE
 Address 132 Abbie Avenue
 City Kansas City State KS Zip 66103
 Phone (913) 317-9500 Email rdametz@ric-consult.com

SITE INFORMATION

Property Address/Location SW of Intersection of Kill Creek Road & 167th Street (see Tract B of attached Exhibit)
 Legal Description (Attach If Necessary) Attached
 Number of Existing Lots 0 Number of Proposed Lots 150
 Total Site Area 71.15 Acres Present Zoning A (Agricultural) - R-1 Pending
 Number of Existing Structures 0 Present Land Use Low Density Residential Pending
 Proposed Street Design Type(s) & Class Standard Local and Collector
 Proposed Type(s) Open & Civic Space Walking Trail and Amenity Area
 Proposed Frontage Type(s) Suburban Yard; Neighborhood Yard
 Proposed Building Types(s) House - Suburban

SIGNATURE

I/We, the undersigned am/are the **(owner(s))**, **(duly authorized agent)**, **(Circle One)** of the aforementioned property. By execution of my/our signature, I/we do hereby officially apply for preliminary plat as indicated above.

Signature(s):  Date 12/13/2019
 _____ Date _____

PRELIMINARY PLAT APPLICATION CHECKLIST

APPLICATION SUBMITTAL REQUIREMENTS

- | Yes | No | |
|-------------------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 1. Complete application packet |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 2. Application fee |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 3. 10 complete sets of full sized plans printed and folded |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 4. Digital copies (PDF) of the completed application, plans, and legal description |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 5. 1 copy of existing covenants and restrictions applicable to the development, if any (reference book and page). |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 6. Letter of intent as to whether a Homeowners Association will be created and if any covenants and restrictions are proposed by the subdivider. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 7. Preliminary Floodplain modeling using HEC-RAS model provided by the City if encroachment is proposed within a FEMA or Shaded Zone X 100-year floodplain. (Contact City Engineer to obtain model and requirements). |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 8. Preliminary Stormwater Management Plan (2 printed and 1 digital copy) |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 9. Preliminary Traffic Assessment See Access Management Code. (2 printed and 1 digital copy) |

PRELIMINARY PLAT REQUIREMENTS

- | | | |
|-------------------------------------|--------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 1. Name of subdivision (unique and numerically consistent and the words "PRELIMINARY PLAT," prominently displayed as the title.) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 2. Names, addresses, and phone numbers of all companies, firms, or individuals involved in the preparation of the plat (i.e. property owner, engineer, surveyor, etc.). |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 3. Date of preparation of preliminary plat and/or revisions. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 4. Vicinity map (drawn at a scale of 1"=2,000', locating the proposed subdivision in relation to the section of land, including township and range, section street names, and a north arrow.) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 5. A legal boundary description with angular bearings and linear distances, referenced to section or quarter-section corners, Point of Commencing and/or Point of Beginning, and the overall area of the plat in acres. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 6. Location of monuments , shown in reference to existing official monuments or the nearest established ¼ section corner, including the bearings and distances to such reference points or monuments. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 7. Boundary lines of the subdivision shall be enclosed with one continuous bold line, showing approximate dimensions (bearings and distances). |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 8. All public streets within the plat conform to the applicable minimum design standards set forth in the Land Development Code and Technical Specifications. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 9. Building setback lines along public and private streets with dimensions in feet. |

- | Yes | No | |
|-------------------------------------|--------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 10. Platted and unplatted land adjacent to the plat boundary. Include identification of adjacent platted subdivisions and unplatted tracts with external bearings and distances of adjacent plats and property owners for a distance of not less than 400 feet. Include original plat names if replatted. Exterior dimensions shall coincide with adjoining plats unless differences are noted |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 11. Lots and tracts identified clearly, with blocks numbered or lettered boldly and clearly in the center of the block, and lot dimensions with bearings and distances, and area in square feet. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 12. Note on plat indicating intended ownership, purpose, and maintenance responsibilities for any parcels labeled as tracts. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 13. Existing streets, driveways, trails, and sidewalks which abut, touch upon or extend through the subdivision and/or streets located within 400 feet of the plat. The description shall include types and widths of existing surfaces, right-of-way widths, and dimensions of any bridges and culverts, access points and signals. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 14. Location of existing open space, alleys, parks, streams, ponds, vegetation, or other similar features within plat, and whether they are to be retained or removed. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 15. Location of existing buildings and structures within 200 feet of the plat. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 16. Existing utilities, including sanitary sewer, force main, water main, gas mains, culverts and storm sewer pipe, street lights, electric conduits, and invert elevations of sewers at points of proposed connection. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 17. Topography of the area contained in the plat and within 20 feet of the plat boundary shown by 2-foot contour intervals and proposed preliminary grading. Contour lines shall be legible but not overpowering. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 18. Proposed street network, including right-of-way, bearings, tangents, and horizontal and vertical curvature data (use of flow direction arrows and percent of grade is permitted at preliminary for vertical curve data, unless otherwise specified/required) along the centerline of each street. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 19. Proposed sidewalks and/or trail locations including proposed widths. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 20. Proposed utilities, including approximate location of sanitary sewer, water main, street lights, storm sewer, detention and treatment facilities. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 21. Existing and proposed easements with dimensions. Existing easements shall be labeled with book and page number. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 22. Any area within a federally designated floodplain. Location, stations, and elevations of the 100-year floodplain within the plat and 100-year elevations at rear lot corners adjacent to FEMA and Shaded Zone X floodplains. The source of the floodplain information shall be clearly labeled (example: FIRM, Map #20091C0041D, September 27, 1991). |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 23. Stream corridor boundary and dimensions. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 24. Intersection site distance analysis. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 25. Copies of all pertinent exception documents, or a copy of a current American Land Title Association (ALTA) survey, or both. |

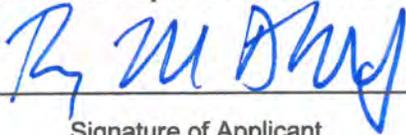
Written explanations for any items not checked or checked "No" (attach additional sheets, if necessary):

5. No existing covenants and restrictions exist.

7. No encroachment is proposed within a FEMA or Shaded Zone X 100-year floodplain.

9. It was determined during pre-application meeting that the proposed layout adheres to proper street separation. A traffic impact study will need to be performed whenever Kill Creek Road is extended to the south.

I hereby submit all information required for preliminary plat review. I understand that failure to provide the required information may result in a postponement of my request for review until all information has been submitted. By signing this application, I acknowledge that all public streets and public infrastructure within the plat shall conform to the applicable minimum design standards set forth in the Gardner Municipal Code and the Technical Specifications.



Signature of Applicant

12/13/2019

Date

OWNER AFFIDAVIT

I/WE Sunrise Investments Corp., hereby referred to as the "Undersigned", being of lawful age, do hereby on this 24th day of October, 2019, make the following statements to wit:

1. I/We the Undersigned, on the date first above written, am/are the lawful owner(s) in fee simple absolute of the following described real property:

See "Exhibit A, Legal Description" attached hereto and incorporated herein by reference.

2. I/We the undersigned, have previously authorized and hereby authorize Renaissance Infrastructure Consulting (Herein referred to as "Applicant"), to act on my/our behalf for the purpose of making application with the City of Gardner, regarding Tract B (see attached Exhibit) (common address), the subject property, or portion thereof. Such authorization includes, but is not limited to, all acts or things whatsoever necessarily required of Applicant in the application process. I/We further attest that I/We agree to be legally bound by the application made on our behalf by applicant and the resultant action upon such application by the City of Gardner.
3. It is understood that in the event the Undersigned is a corporation or partnership then the individual whose signature appears below for and on behalf of the corporation or partnership has in fact the authority to so bind the corporation or partnership to the terms and statements contained within this instrument.

IN WITNESS THEREOF, I, the Undersigned, have set my hand and seal below.

B. Miller _____
Owner Owner

STATE OF Kansas
COUNTY OF Johnson

The foregoing instrument was acknowledged before me on this 24th day of October, 2019, by Brian Miller

My Commission Expires: 2/21

[Signature]

Notary Public

Notary Public-State of Kansas
Marjorie Minnich

My Appointment Expires 2/21

PROJECT NUMBER / TITLE: Consider proposed text amendment TA-20-01 to the *Gardner Land Development Code* pertaining to Public Utility Facility – Major uses

REQUESTED ACTION

Hold a public hearing and consider text amendment TA-20-01 to the *Gardner Land Development Code* (LDC) pertaining to Public Utility Facilities – Major uses.

BACKGROUND / HISTORY

On August 21, 2017, the Governing Body adopted Ordinance 2550 amending the *Gardner Land Development Code* (LDC) to implement specific use standards for public utility and airport uses, as these uses were not specifically provided for in the LDC when it was adopted in 2016. Utility uses were classified as either minor or major utility uses. Currently, minor public utility uses are conditional uses in all agriculture and residential districts, and permitted uses in all commercial and industrial districts. **Major public utility uses** are conditional uses ONLY in the commercial and industrial districts.

Public Utility Facility – Major is described as “Utility services of a regional nature, including generating plants, electrical switching facilities and primary substations, water and wastewater treatment plants, and similar facilities to provide the general public with electricity, natural gas, steam, water, sewage collection, or other similar service. May include General Office or Large Office where those uses are permitted as indicated in Table 5-2.”

On January 6, 2020, the Governing Body initiated this potential text amendment to the LDC, directing the Planning Commission to consider revising the use provisions for Communications and Utilities to permit Public Utility Facility – Major as a Conditional Use subject to additional standards in additional zoning districts (including the agriculture district). The reason is that as the community grows, there is a need to provide public utility services to outlying areas. Based on a comparison of the adopted utility plans and future land use maps, it may be advisable that some major public utility facilities be developed on sites planned for agriculture or residential zoning.

Currently, new major public utility facilities would have to be built on land that is rezoned to a commercial or industrial district, even though the facilities would perhaps be located adjacent to agriculture or residential uses. Then, if the facility were ever decommissioned or redeveloped, the site would potentially be opened up to various commercial and industrial uses that may not be compatible with the adjacent land uses unless the property was rezoned before redevelopment.

Of additional concern, the LDC provides that nonconforming uses (that were legally initiated prior to the adoption or amendment of this Code, but would not meet the terms of the current code) may continue to exist, but may not be expanded beyond the existing area of the lot. The City’s wastewater treatment plant is located on a site zoned Agriculture District near Celebration Park along W. 159th Street. Without the amendment, this facility would have to be rezoned to be expanded.

As another illustration of these implications, the Hillsdale Lake Water Treatment facility (see photo below), is surrounded by a rural residential district in Miami County. If this facility, which was originally permitted as a conditional use in the Agriculture district of Miami County, was annexed into the City of Gardner in the future, and given the equivalent zoning designation of Agriculture, it would become a nonconforming use in the City (because these facilities are currently not permitted in the Agriculture District). Expansion could then only be accommodated by rezoning to a commercial or industrial district (and approval of a conditional use permit). Maintaining the agriculture zoning designation for this facility would be more consistent with the land use intent of surrounding Miami County and ensure continued compatibility with the adjacent land uses. If the LDC were amended to permit major public utility facilities in the A (Agriculture) district, future expansions to this facility could be accommodated without the need to rezone. The plant is currently being expanded while under the jurisdiction of Miami County. Additional expansions are planned around 2027.



A new electric substation is planned south of I-35 near projected commercial areas, and could be accommodated in a commercial zoning district without an amendment to the LDC. However, this property is currently zoned A (Agriculture) District, and the contemplated amendment would allow this facility to be developed without a rezoning.

A new wastewater treatment plant is planned to be located somewhere south of I-35 and 191st street near Cedar Niles in the future, and it is anticipated that the most appropriate zoning district for that facility, considering the adjacent uses, would be the A (Agriculture) District.

Conditional uses, and their expansions, entail a public hearing and recommendation of the Planning Commission, with final approval of the Governing Body. There are ten review criteria for conditional uses which pertain to the furthering the intent of the zoning district and adjacent



Solar Collector – Ground Mounted	C*																
Public Utility Facility - Minor	C*	P*															
Public Utility Facility - Major	C*								C*								
Aviation Facilities	C*																

Staff Comment:

In the previous Code, public utility uses were not specifically defined, but may have been permitted as follows:

- Permitted use (public buildings) in the less intense **commercial** districts
- Permitted use (public and private utility facilities and governmental maintenance facilities) in the **industrial** districts
- Conditional use (other publicly owned buildings and uses not specifically listed elsewhere) in the **agricultural** district
- Conditional use (any public building or land used by any department of the City, County, state or federal government) in most **residential** districts
- Conditional use (public utility, telephone exchanges, electric substations, water, sewer or storm sewer facilities, and natural, piped gas operating under government franchise and contract) in two **commercial** districts

The above underlined text would seem to indicate that public utilities were not permitted in the Agricultural District per the previous Code since that use is specifically listed only as being permitted in other districts. However, the previous Code did not necessarily address the need or plan for utility infrastructure expansion in rural annexed areas near Gardner or in areas at the edge of the Gardner City limits.

At this time, there is no anticipated need to permit Public Utility Facility – Major uses in residential zoning districts, as no such facilities are planned in the residential future land use areas. Future revisions of the Comprehensive Plan or utility master plans may result in further recommendations for amendments in the future. However, at this time, staff recommends adding only the A (Agriculture) District as an additional opportunity area for these major utility uses as a conditional use.

ATTACHMENTS

- I. Future Land Use Map

ACTIONS

The Planning Commission shall hold a public hearing on all proposed amendments. Upon conclusion of the public hearing, the Planning Commission shall prepare and adopt its recommendations in the form of a proposed development regulation and submit it with a record of the hearing to the Governing Body.

EFFECT OF DECISION

Per State Statute, the governing body either may: (1) Approve such recommendations by the adoption of an ordinance; (2) override the planning commission's recommendations by a 2/3 majority vote of the membership of the governing body; or (3) may return the item to the planning

commission for further consideration, together with a statement specifying the basis for the governing body's failure to approve or disapprove. If the governing body returns the planning commission's recommendations, the planning commission, after consideration, may resubmit its original recommendations with their reasoning, or submit new and amended recommendations. Upon the receipt of such recommendations, the governing body, by a simple majority, may adopt or may revise or amend and adopt such recommendations by ordinance, or the governing body need take no further action on the item. If the planning commission fails to deliver its recommendations to the governing body following the planning commission's next regular meeting after receipt of the governing body's report, the governing body shall consider that inaction on the part of the planning commission as a resubmission of the original recommendations and proceed accordingly. The proposed amendment shall become effective upon publication of the adopting ordinance.

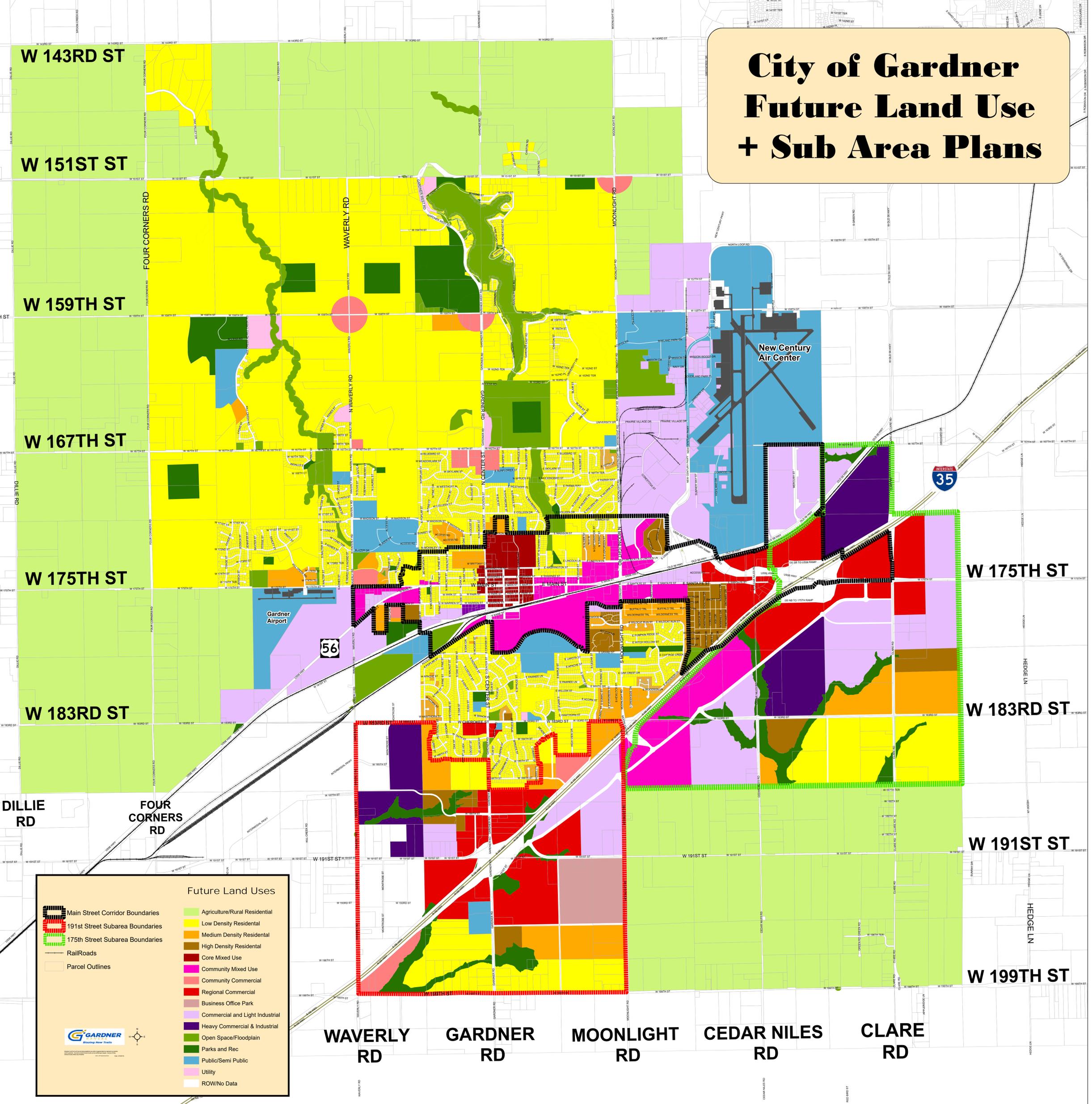
RECOMMENDATION

Staff recommends approval of TA-20-01 as presented in the January 28, 2020 staff report.

Recommended Motion for TA-20-01:

The Planning Commission recommends that the Governing Body approve text amendment TA-20-01 to the *Gardner Land Development Code*, revising the use provisions for Communications and Utilities to permit Public Utility Facility – Major as a Conditional Use subject to specific use standards in the additional zoning district of A (Agriculture) District as presented in the January 28, 2020 staff report.

City of Gardner Future Land Use + Sub Area Plans



Future Land Uses

- Main Street Corridor Boundaries
- 191st Street Subarea Boundaries
- 175th Street Subarea Boundaries
- Railroads
- Parcel Outlines
- Agriculture/Rural Residential
- Low Density Residential
- Medium Density Residential
- High Density Residential
- Core Mixed Use
- Community Mixed Use
- Community Commercial
- Regional Commercial
- Business Office Park
- Commercial and Light Industrial
- Heavy Commercial & Industrial
- Open Space/Floodplain
- Parks and Rec
- Public/Semi Public
- Utility
- ROW/No Data

GARDNER
Blazing New Trails

WAVERLY RD GARDNER RD MOONLIGHT RD CEDAR NILES RD CLARE RD

W 175TH ST

W 183RD ST

W 191ST ST

W 199TH ST

W 143RD ST

W 151ST ST

W 159TH ST

W 167TH ST

W 175TH ST

W 183RD ST

DILLIE RD

FOUR CORNERS RD

W 191ST ST

W 199TH ST

35

56

New Century
Air Center

Gardner
Airport

PROJECT NUMBER / TITLE: Initiation of text amendments to various sections of the Land Development Code to address rural context and character.

REQUESTED ACTION

Initiate potential text amendments to various sections of Title 17 Land Development Code of the Gardner Municipal Code enabling regulations that are consistent with the context of rural areas of Gardner and that preserve rural character.

BACKGROUND / HISTORY

The *Gardner Land Development Code* (LDC) was adopted on June 20, 2016, and became effective on August 1, 2016. Since that time, the City of Gardner has experienced growth in new areas of the community. Subarea plans were adopted for the areas south of I-35 in subsequent years. Some of these properties that were under the zoning jurisdiction of Johnson County have since been annexed into the City.

The subarea plans include a goal to maintain rural character in existing areas until the time that municipal services and market factors allow urban densities to develop. The plans call for residential development patterns such as conservation or cluster development to preserve larger areas for conservation, open space, habitat, regional water management, and agriculture use. The LDC was developed to facilitate a more urban context, and may need to be revised based on preservation of a more rural context in some areas of the expanding community.

STAFF ANALYSIS AND RECOMMENDATIONS FOR REGULATORY CHANGE

Staff has identified the following issues that may need to be addressed in areas that are intended to retain rural character and context:

- Waiving the fee for reclassification (rezoning) of parcels that are newly annexed, provided that the reclassification is to the most similar zoning district to the previous County zoning, or is consistent with the future land use map (the City Attorney says that case law does not support reclassifying the zoning for parcels without going through the rezoning process).
- Lot split provisions for larger parcels, including a width to depth ratio. Currently, the creation of lots less than five acres triggers the plat process, and the LDC does not offer standards for the division of lots larger than this until development occurs. However, it is important to have standards for these larger lot splits so that reasonable development and access will be feasible in the future.
- Planned District/incentives for the development of conservation subdivisions that preserve large, connected natural areas and offer more compact housing patterns where appropriate utilities can be provided.
- The possible deferral of excise tax with plats where development is not yet imminent.
- Subdivision standards impacting road networks, access streets and connectivity.
- Rural street design type – address sidewalks and whether to allow new gravel roads.
- Requirements for private roads with public access.

- Rural open space types and requirements.
- A frontage type that addresses rural character.
- Potential building types or building type modifications for rural context.
- Accommodation of rural livestock fencing and customary accessory buildings.
- Rural outdoor storage and vehicle parking.
- Review of use standards with the context of this area in mind.
- Review of building materials and design standards for use within the rural area.
- Buffer and screening requirements.
- Stormwater requirements.
- Property maintenance pertaining to vegetation.

ATTACHMENTS

None

RECOMMENDATION

Staff requests that the Planning Commission initiate amendments to all applicable sections to address issues as presented in the January 28, 2020 staff report or as subsequently presented with the goal of addressing rural context and character.

Recommended Motion:

The Planning Commission initiates text amendments to multiple sections of the Title 17 Land Development Code of the Gardner Municipal Code to address issues as presented in the January 28, 2020 staff report, or as subsequently presented, enabling regulations that are consistent with the context of rural areas of Gardner and that preserve rural character.

PROJECT NUMBER / TITLE: Presentation and discussion of major concepts in the draft *Gardner Destination Downtown Plan*

BACKGROUND

In April of 2018, the Governing Body approved Comprehensive Plan amendments to incorporate the *Gardner Main Street Corridor Plan* and *Gardner Main Street Market Analysis*. This plan provides specific policy guidance for the Main Street Corridor from the west boundary at Waverly Road, continuing eastward along US-56/Main Street to the I-35 interchange, extending north to Madison Street and just south of the railroad tracks, including properties abutting E. Santa Fe Street. This Sustainable Places Plan was largely funded through the Planning Sustainable Places program with the Mid-America Regional Council. It focuses on the big picture and crafting a vision that integrates transportation, land use and the environment while engaging the community in a collaborative dialogue.

The *Gardner Destination Downtown Plan* is the second level of planning in the Planning Sustainable Places program, and was also largely funded through that program. It focuses on project development and implementation activities for a smaller study area of Downtown so that implementation projects can move closer to readiness for preliminary engineering. This plan also includes meaningful public engagement. The premise behind both projects is to build on the role of the corridor as a major vehicular transportation thoroughfare and facilitate its evolution to support multi-modal transportation options and vibrant public spaces that are attractive for redevelopment and revitalization efforts.

The *Gardner Destination Downtown Plan* focuses on civic infrastructure and streetscape improvements in an 8-block area of Downtown from Center Street on the west to Sycamore Street on the east, E. Washington Street on the north and E. Warren Street on the South, but including Cornerstone Park. This plan offers a streetscape master plan with concept plans and visualizations for a highway median, bike boulevard, streetscape amenities, and other street improvements such as crosswalks, bump-outs, ADA infrastructure, sidewalks and traffic signal modifications. The plan includes recommendations for improving public and private parking areas and establishing a downtown mobility hub where users can switch between modes of transportation. It offers concept plans and renderings for new civic green spaces near City Hall, and improvements at Cornerstone Park.

Public engagement activities began with an all-day tour of civic spaces and market facilities in six locations around the KC metro area, including Downtown Overland Park, Kansas; Linden Square in Gladstone, Missouri; Downtown Liberty, Missouri; Uptown Market in Independence, Missouri; Downtown Lees Summit, Missouri, and Park Place in Leawood, Kansas. Participants were able to speak to local officials and project champions about the challenges and opportunities encountered in creating these spaces. After the tour, participants gathered in a workshop to share observations and discuss the potential vision for Downtown Gardner.

The public input survey for this project had over 500 responses, representing 2.5% of Gardner's population. The highest ranked amenities with majority support for Downtown were a farmer's market, walking paths, interactive water feature, food trucks, and amphitheater. Less desired types of open space for Downtown were those related to active recreation, perhaps because this space wasn't envisioned as suitable for those purposes.

The Steering Committee from the *Gardner Main Street Corridor Plan* stayed on to lead this plan, providing continuity through the process. Additionally, new project champions were involved as part of an Implementation Committee that offered input during a workshop and “Walk ‘N Roll” tour. As part of the workshop, participants provided input on three potential visions for civic space enhancement. During the Walk ‘N Roll tour, committee members and City staff toured the project area with the intent to identify barriers to access and mobility and discuss opportunities for improvements. This input has guided the design recommendations for the street and streetscape recommendations of the plan, such as location and quantity of ADA accessible parking spaces, street improvements that can facilitate improved access to local businesses, and streetscape improvements with multiple benefits.

Potentially impacted property owners were consulted at multiple stages of the planning process along with the citizen committees to ensure that the various elements of the plan are welcome and achievable.

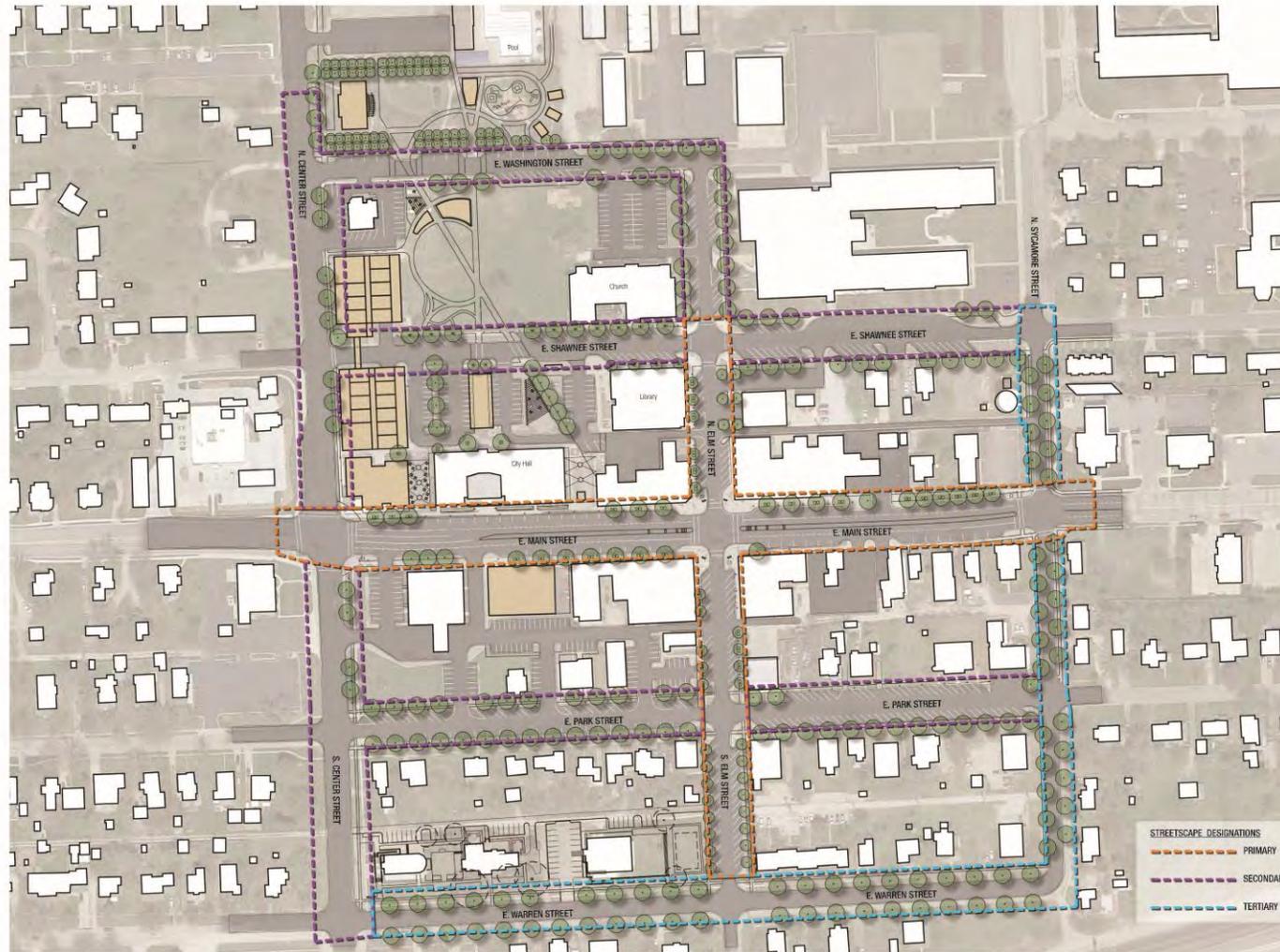
The project consultants, led by Confluence, will present the major concepts of the draft plan and receive Planning Commission input. Future actions include adoption of the plan by the Planning Commission and Governing Body, and amending the Comprehensive Plan to include the *Gardner Destination Downtown Plan*.

ATTACHMENTS

- I. Presentation slides



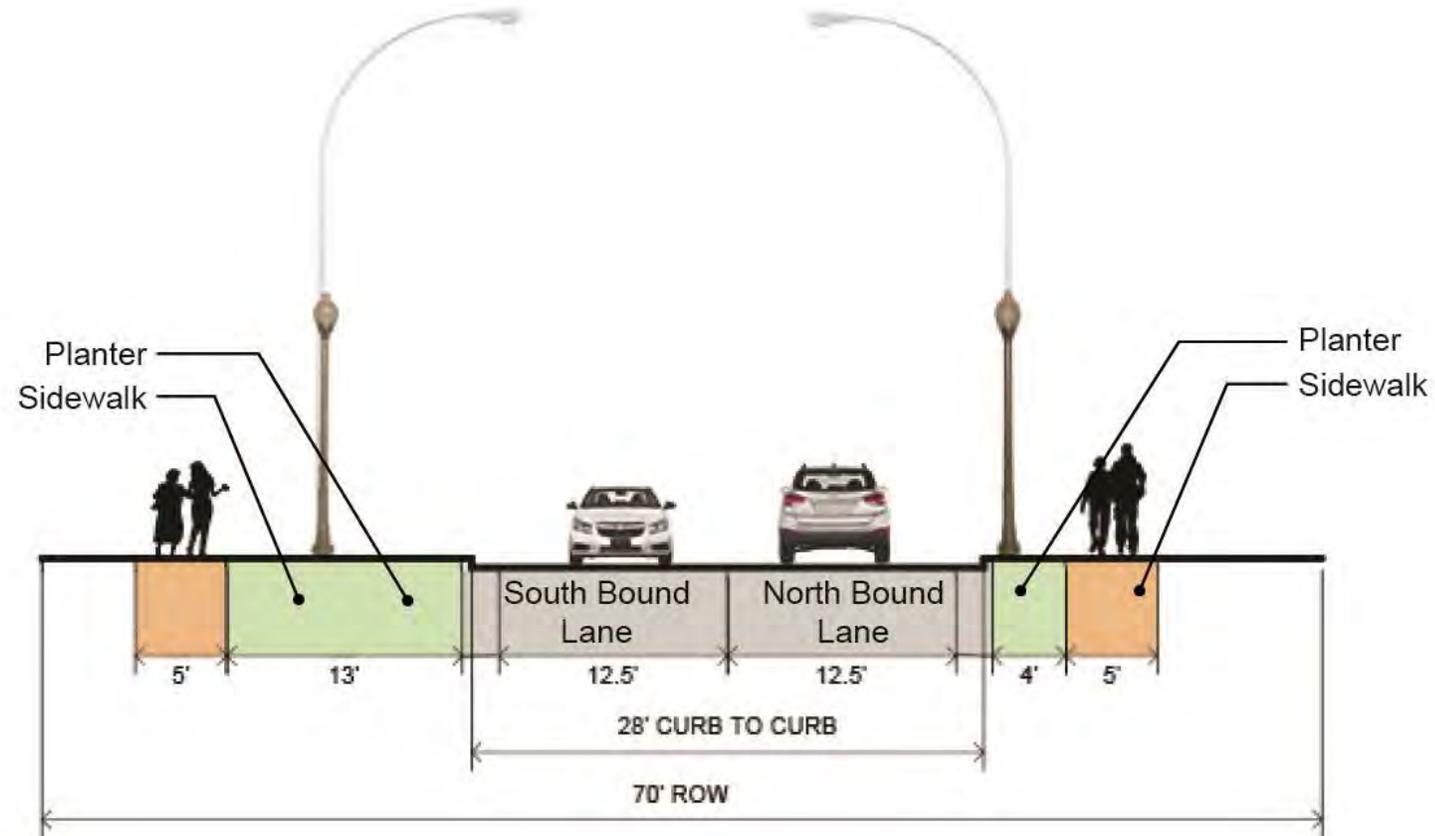
Streetscape Design Strategy



- Primary
- Secondary
- Tertiary

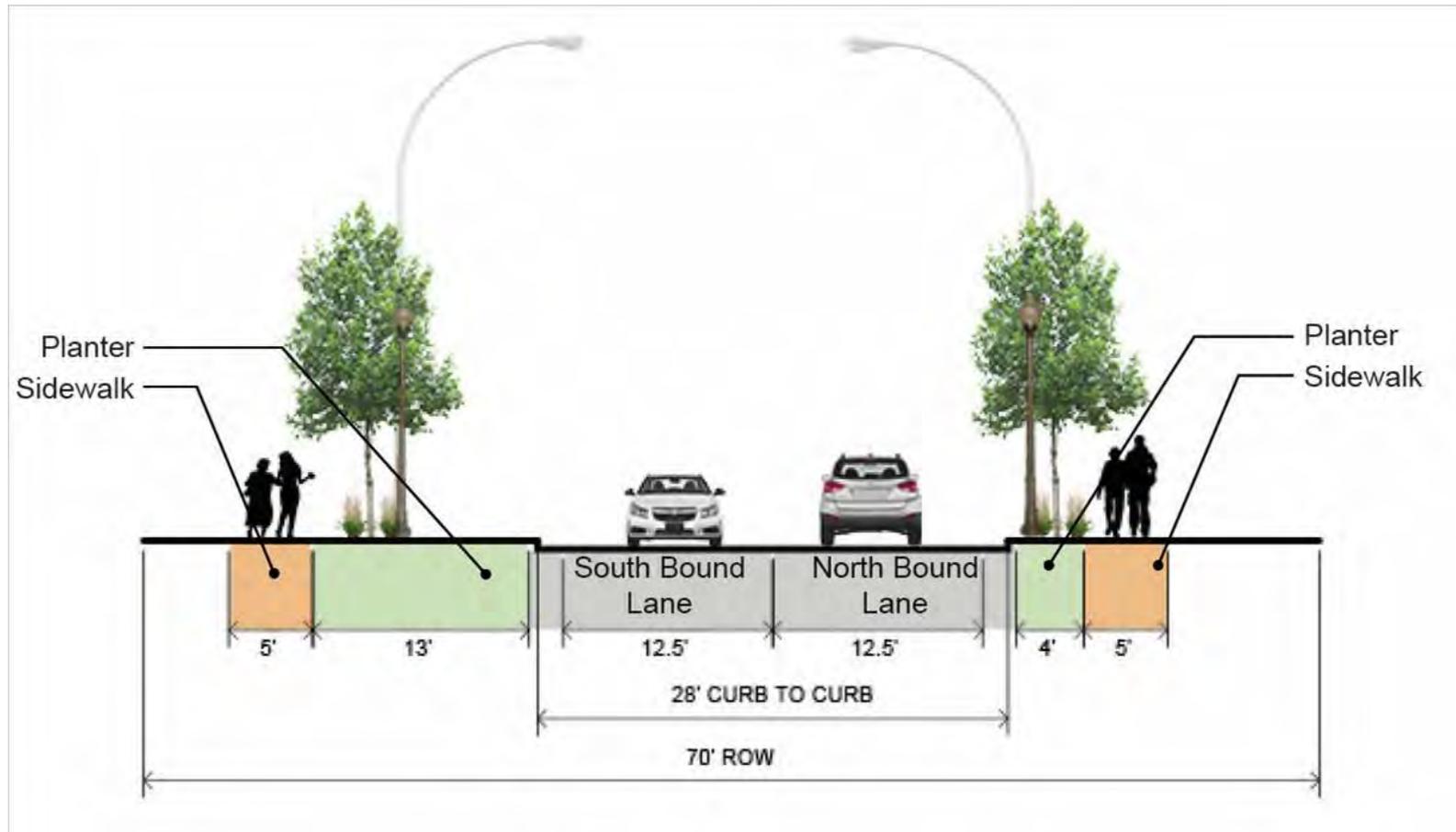
Streetscape Design Strategy

Tertiary Street - Existing Sycamore Street



Streetscape Design Strategy

Tertiary Street - Proposed Sycamore Street



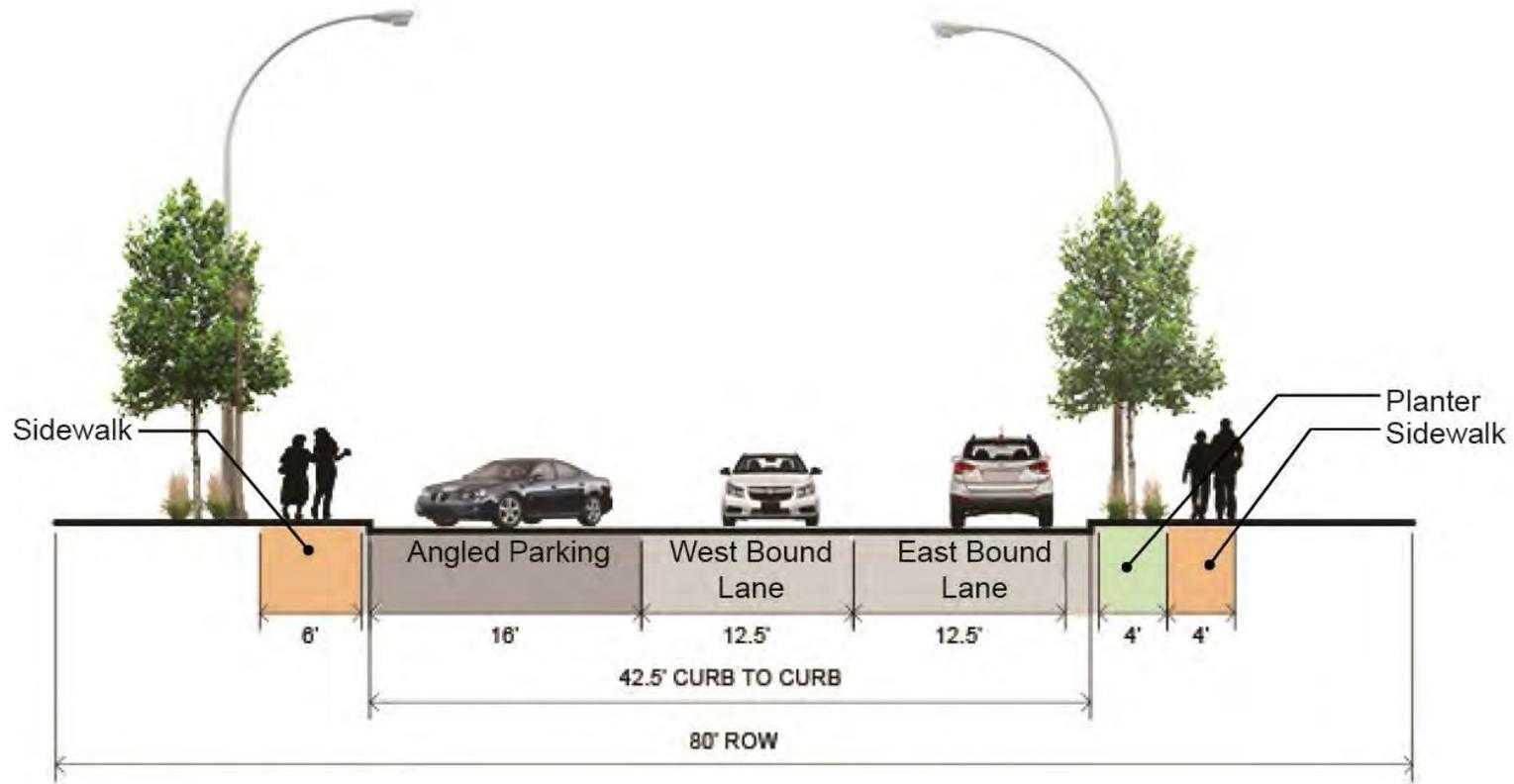
Streetscape Design Strategy

Tertiary Street - Proposed Sycamore Street



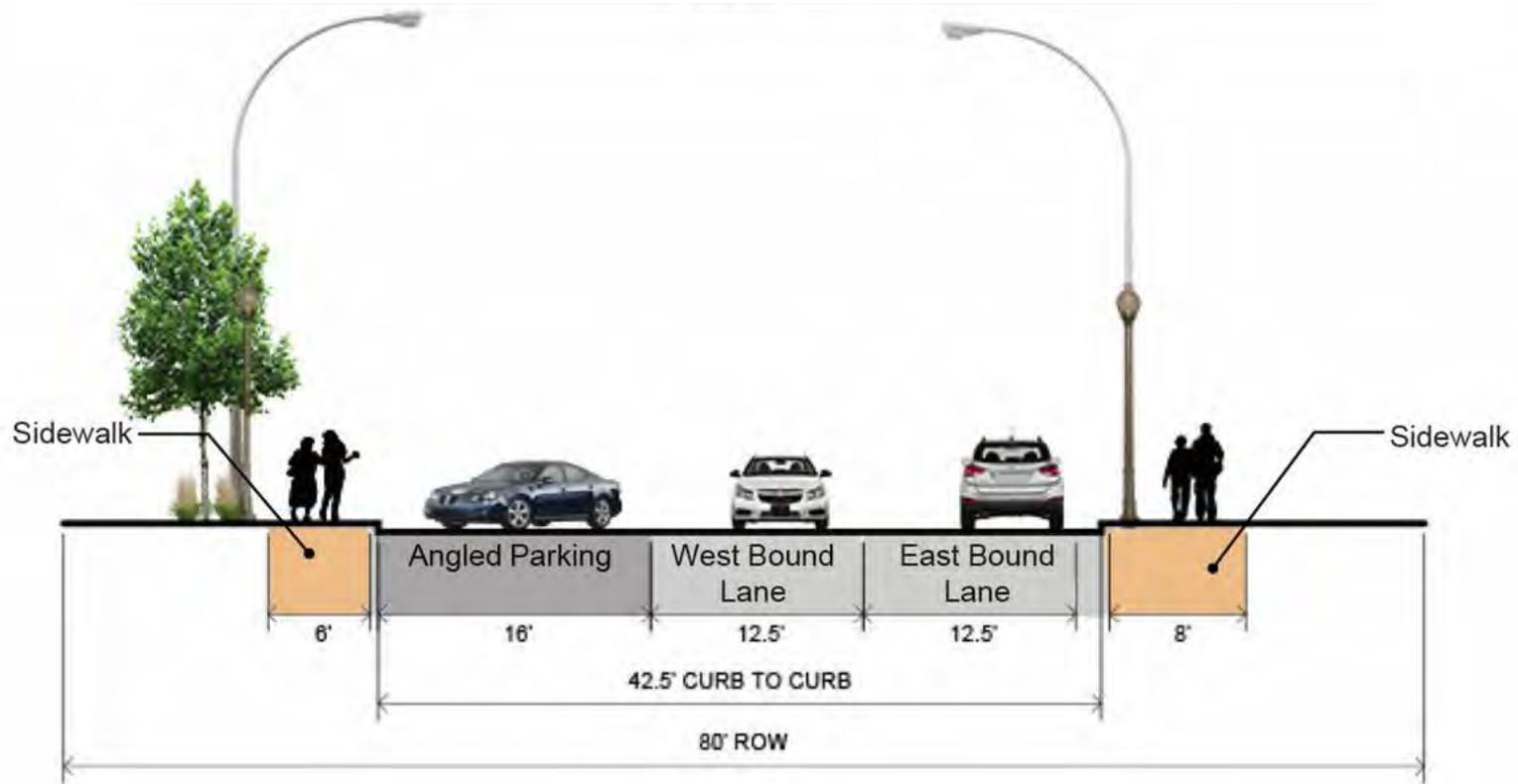
Streetscape Design Strategy

Secondary Street - Existing Shawnee Street



Streetscape Design Strategy

Secondary Street - Proposed Shawnee Street



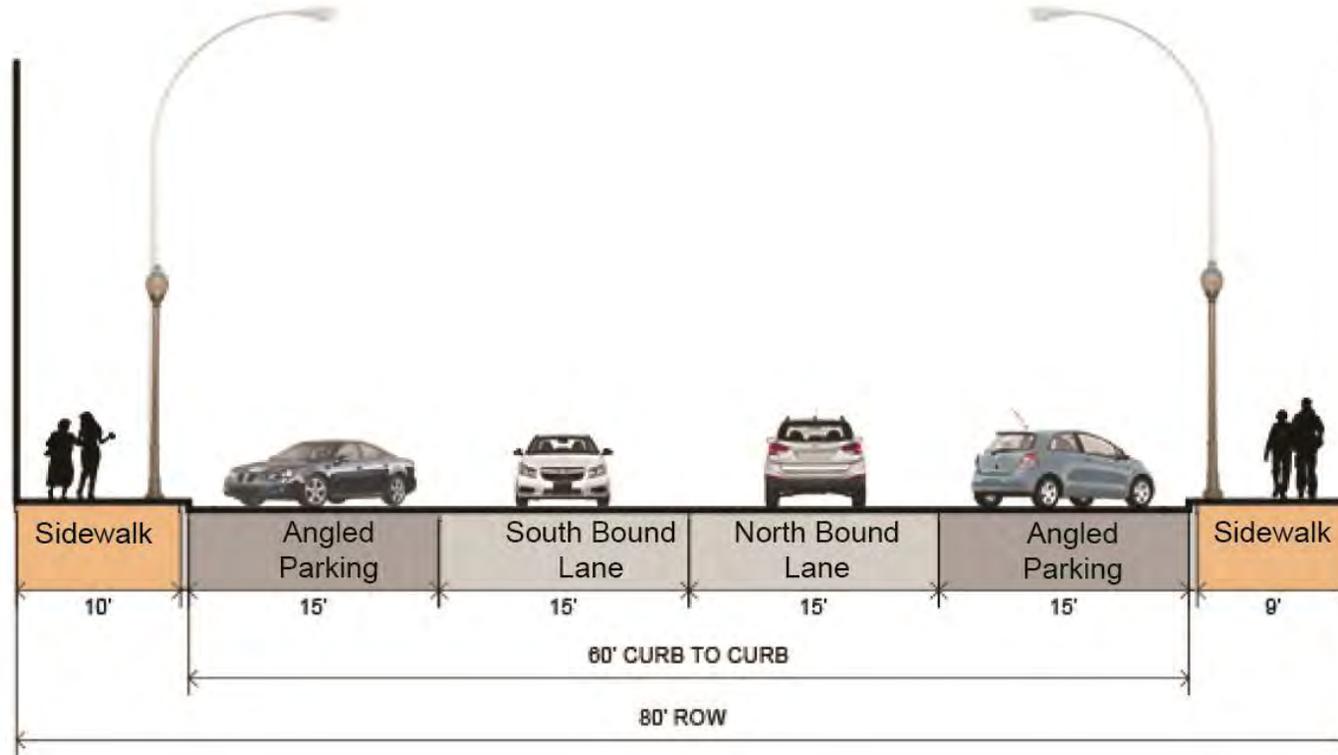
Streetscape Design Strategy

Secondary Street - Proposed Shawnee Street



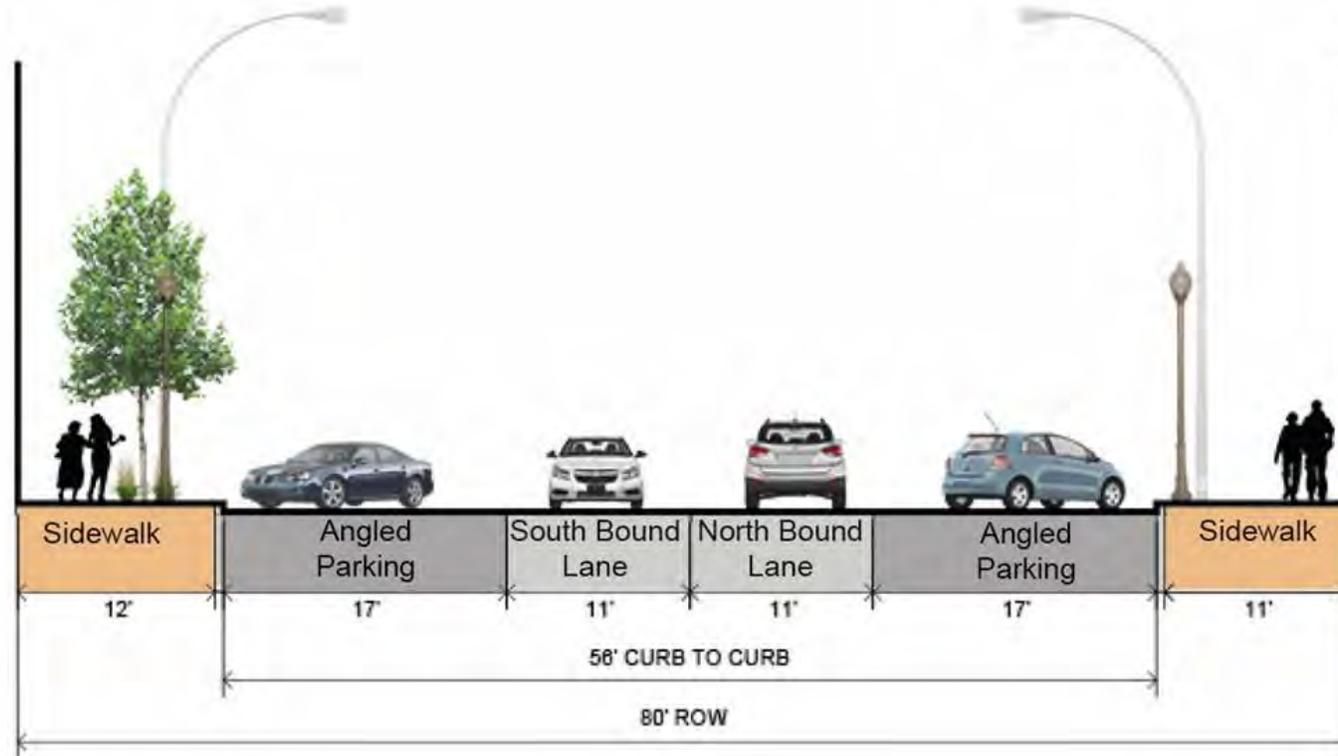
Streetscape Design Strategy

Primary Street - Existing Elm Street



Streetscape Design Strategy

Primary Street - Proposed Elm Street



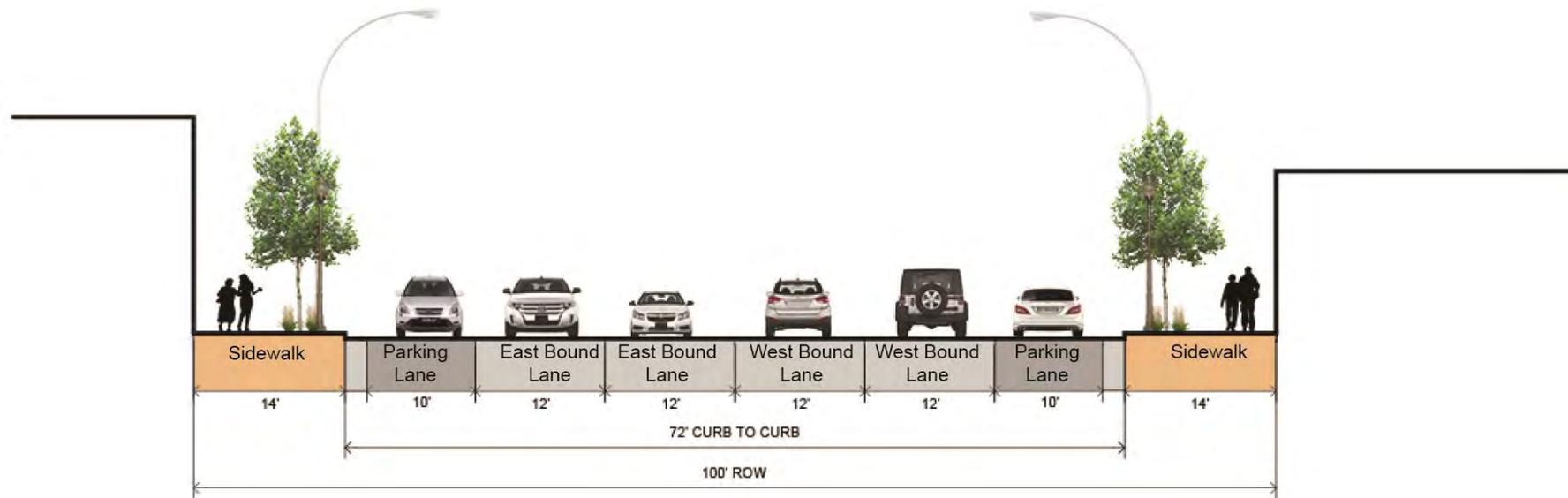
Streetscape Design Strategy

Primary Street - Proposed Elm Street



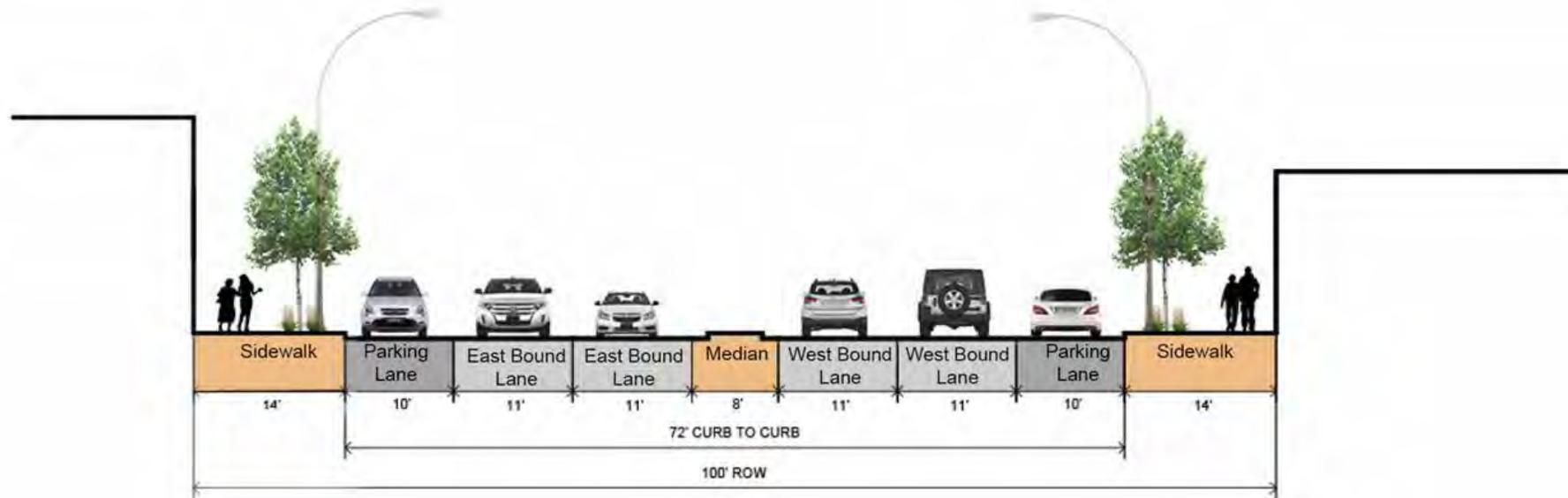
Streetscape Design Strategy

Primary Street - Existing Elm Street



Streetscape Design Strategy

Primary Street - Proposed Main Street



Streetscape Design Strategy

Primary Street - Proposed Main Street



Streetscape Design Strategy

Main + Elm Intersection



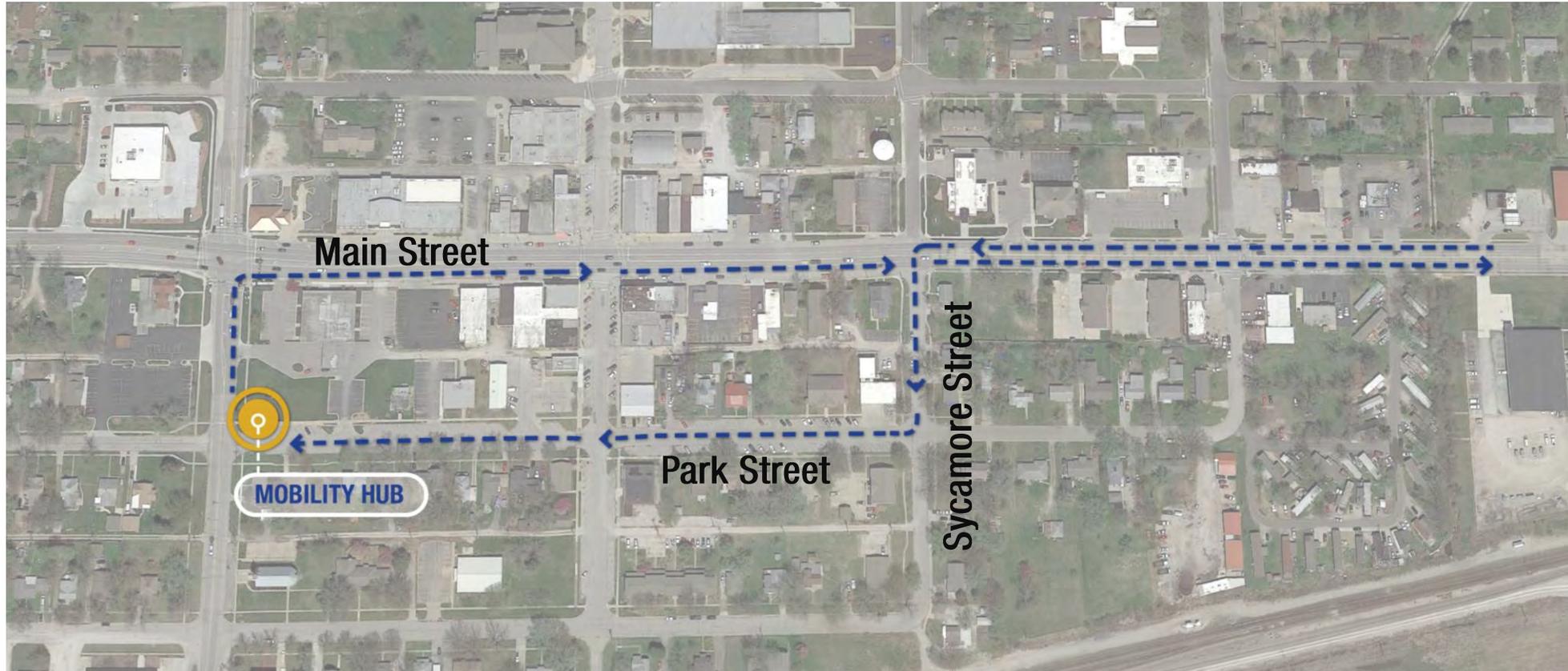
Streetscape Design Strategy

Main + Elm Intersection



Mobility Hub

Proposed Bus Route



Mobility Hub

Mobility Hub



Master Plan



GARDNER DESTINATION DOWNTOWN
City of Gardner, Kansas

Streetscape Design Strategy



Streetscape Design Strategy



Streetscape Design Strategy



Streetscape Design Strategy



Streetscape Design Strategy



Streetscape Design Strategy



Streetscape Design Strategy



PROJECT NUMBER / TITLE: Presentation and discussion of major concepts in the draft *Gardner Destination Downtown Plan*

BACKGROUND

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The public input survey for this project had over 500 responses, representing 2.5% of Gardner's population. The highest ranked amenities with majority support for Downtown were a farmer's market, walking paths, interactive water feature, food trucks, and amphitheater. Less desired types of open space for Downtown were those related to active recreation, perhaps because this space wasn't envisioned as suitable for those purposes.

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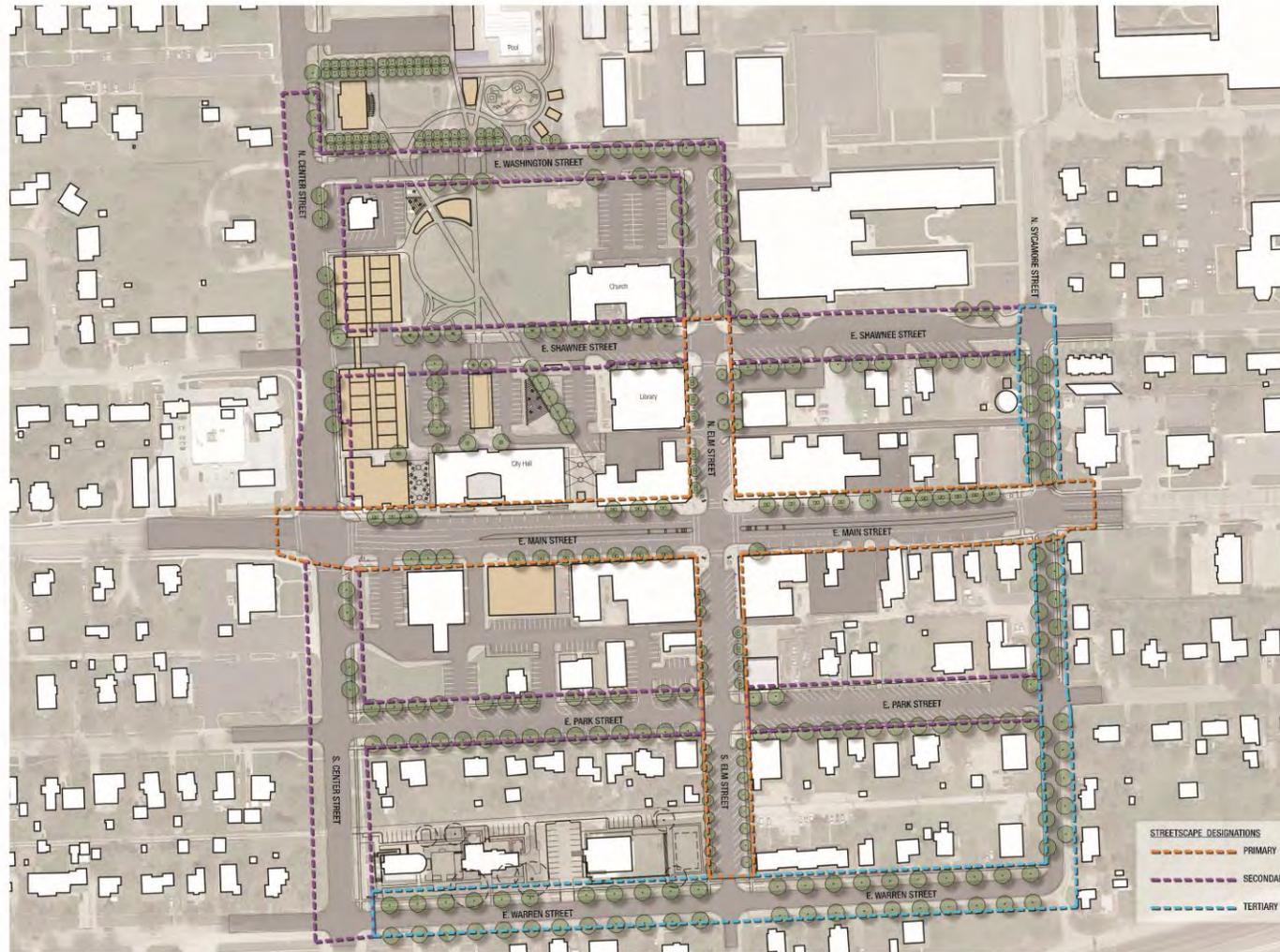
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ATTACHMENTS

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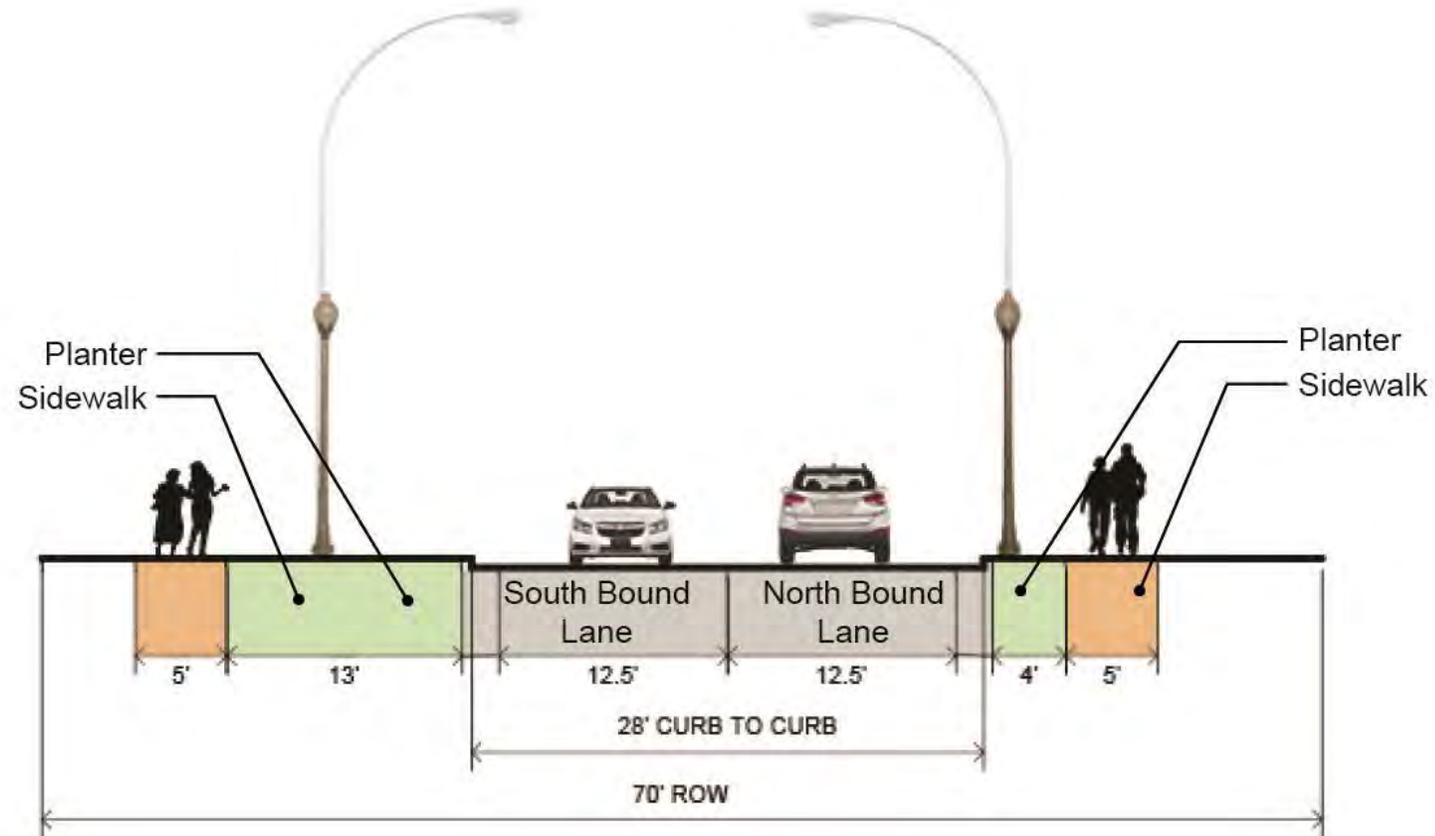
Streetscape Design Strategy



- Primary
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- Tertiary

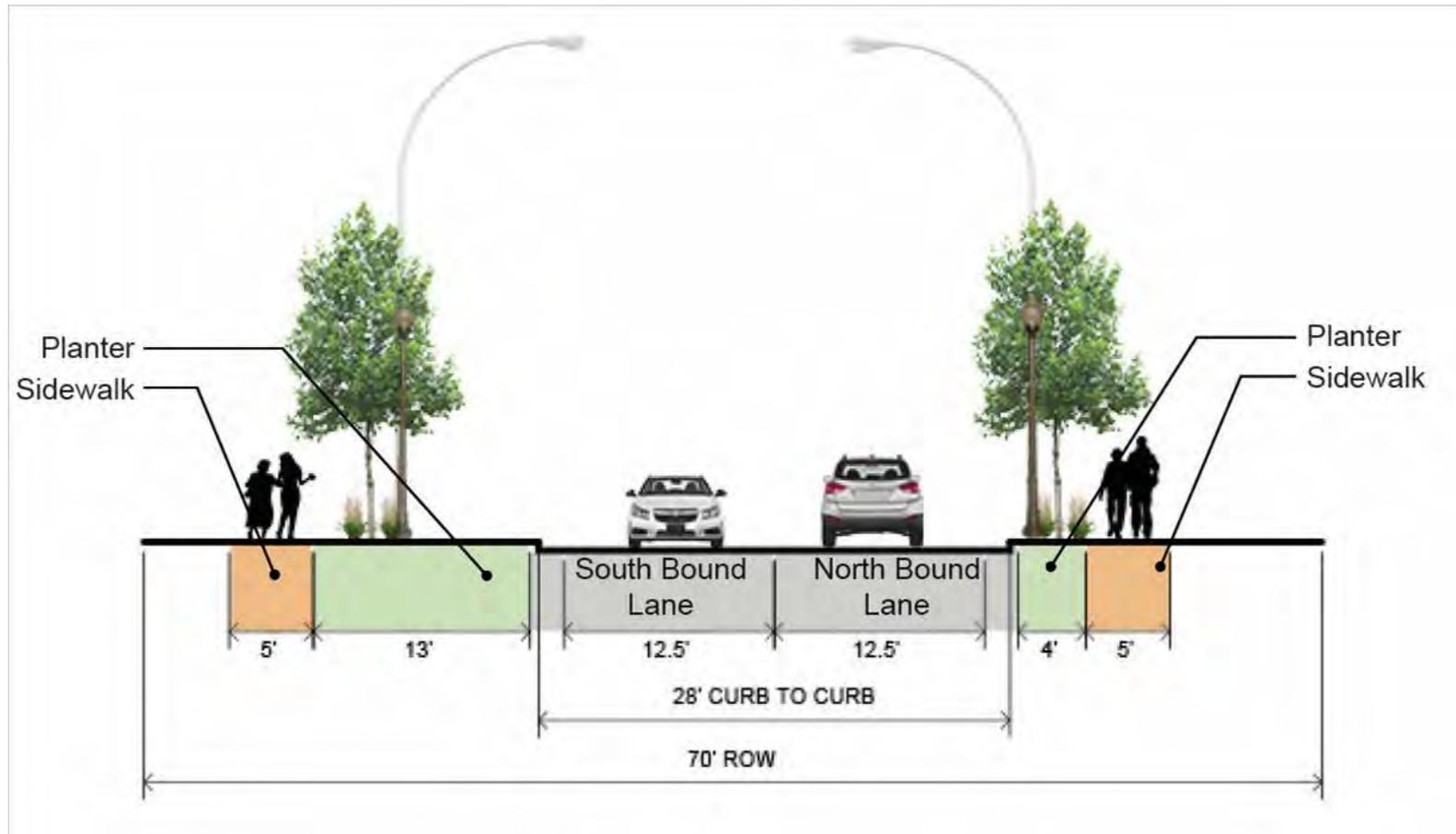
Streetscape Design Strategy

Tertiary Street - Existing Sycamore Street



Streetscape Design Strategy

Tertiary Street - Proposed Sycamore Street



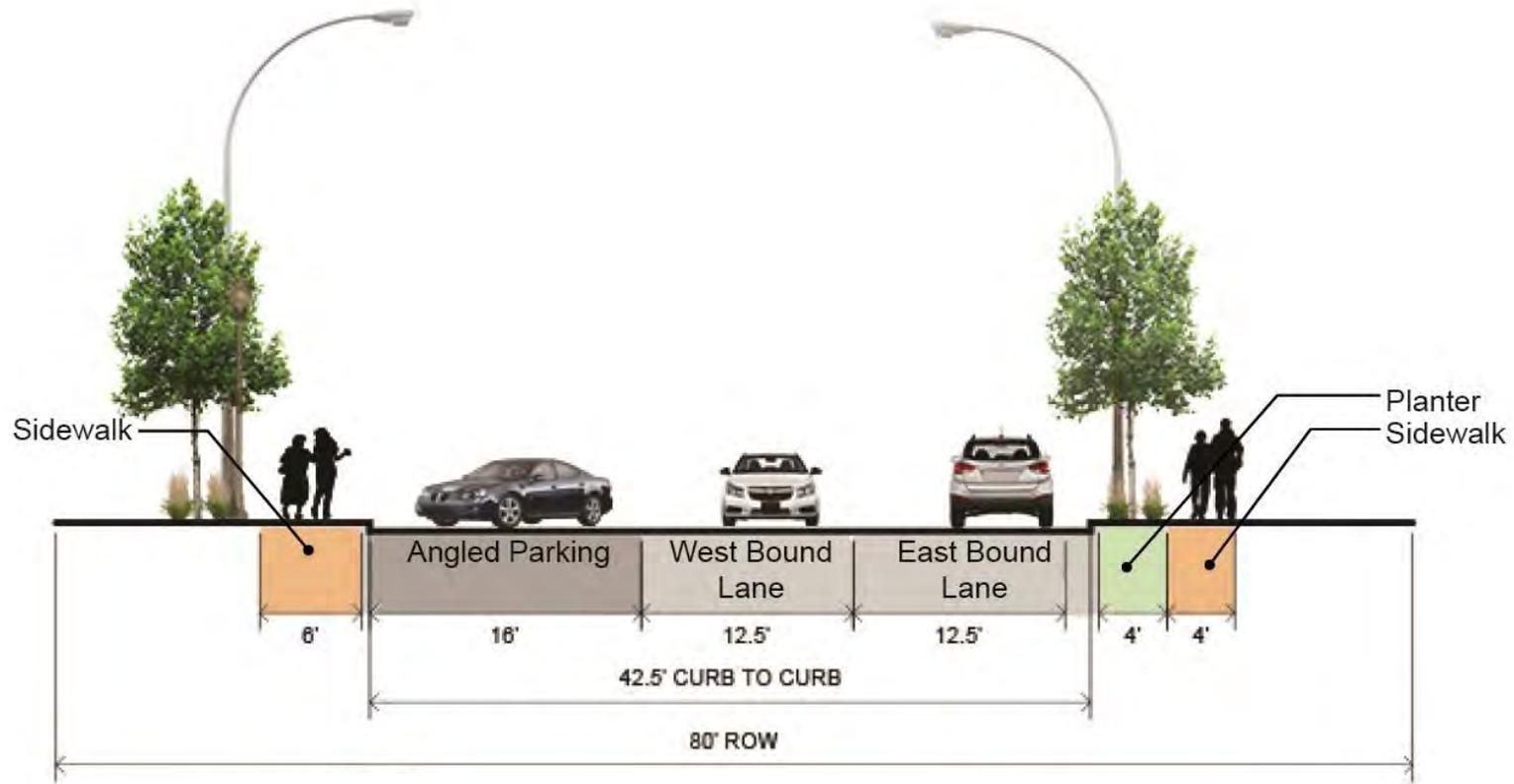
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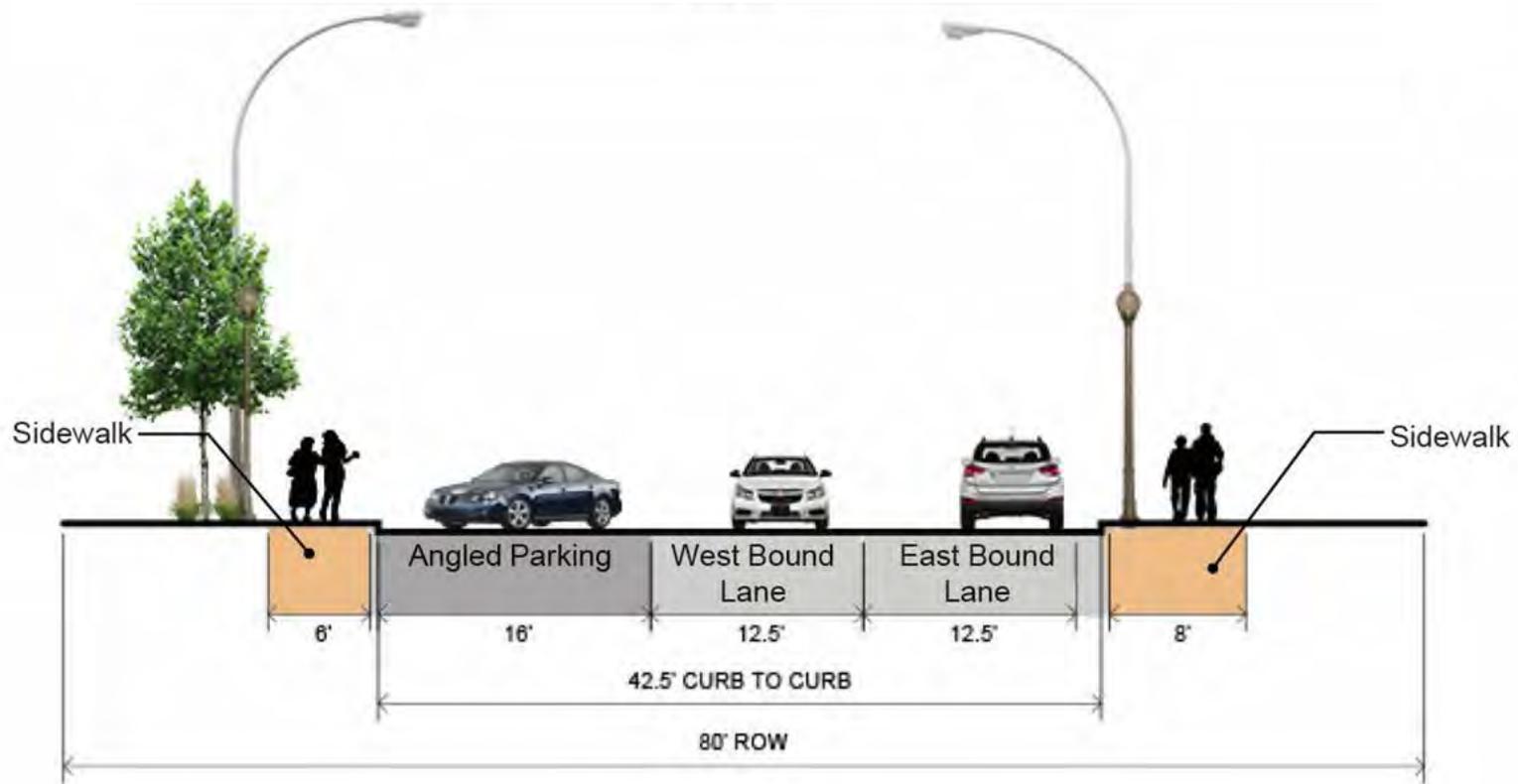
Streetscape Design Strategy

Secondary Street - Existing Shawnee Street



Streetscape Design Strategy

Secondary Street - Proposed Shawnee Street



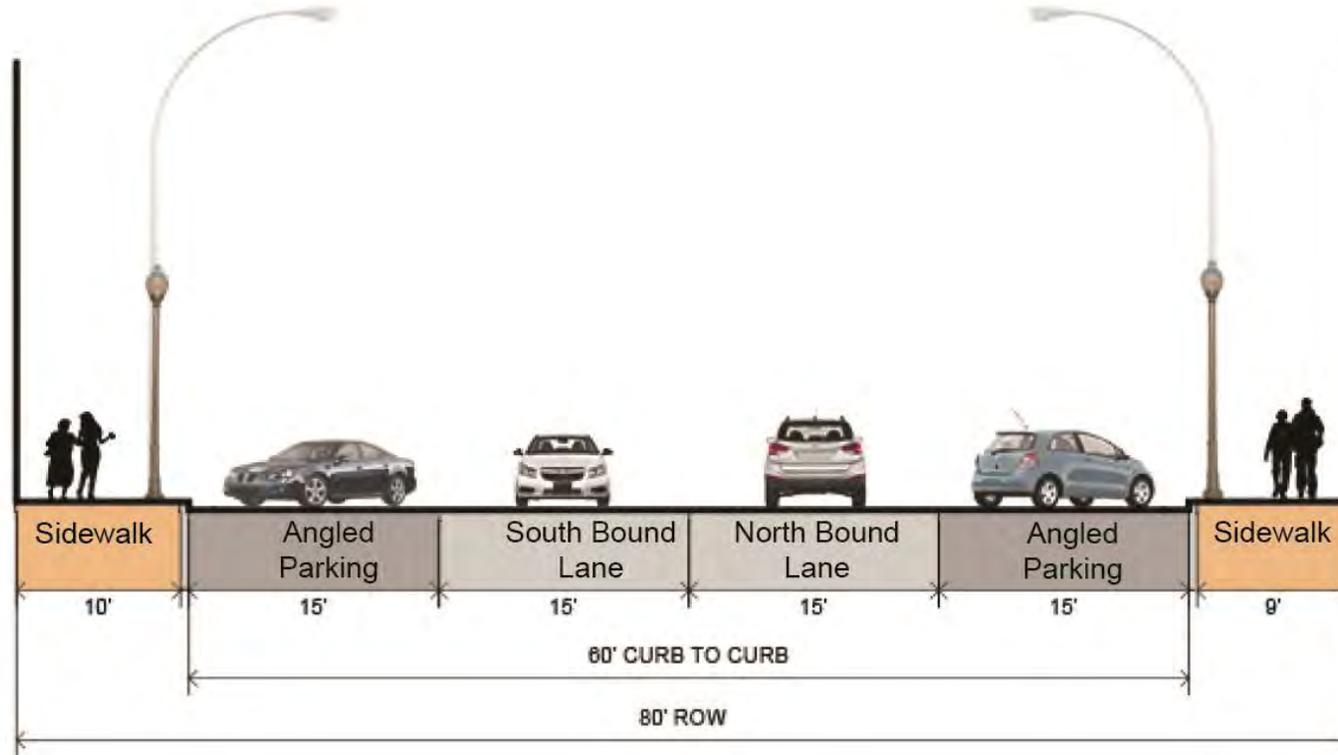
Streetscape Design Strategy

Secondary Street - Proposed Shawnee Street



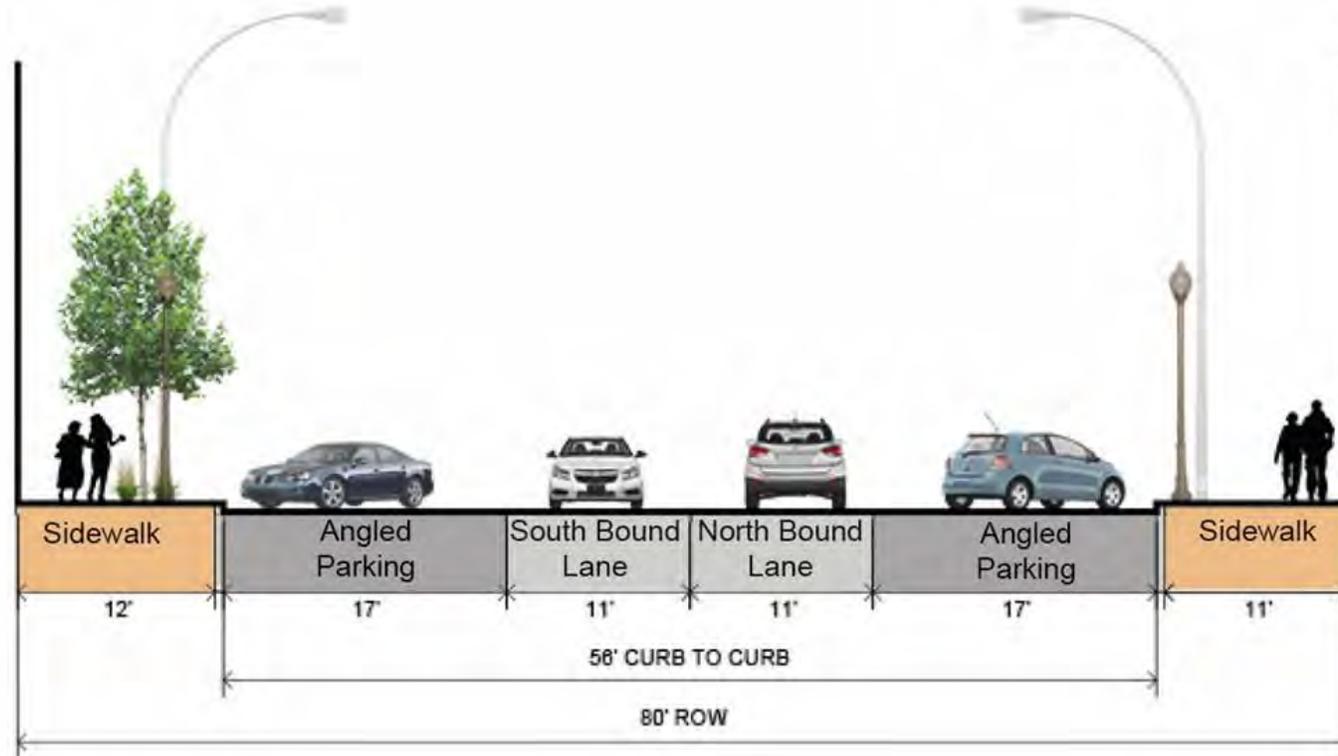
Streetscape Design Strategy

Primary Street - Existing Elm Street



Streetscape Design Strategy

Primary Street - Proposed Elm Street



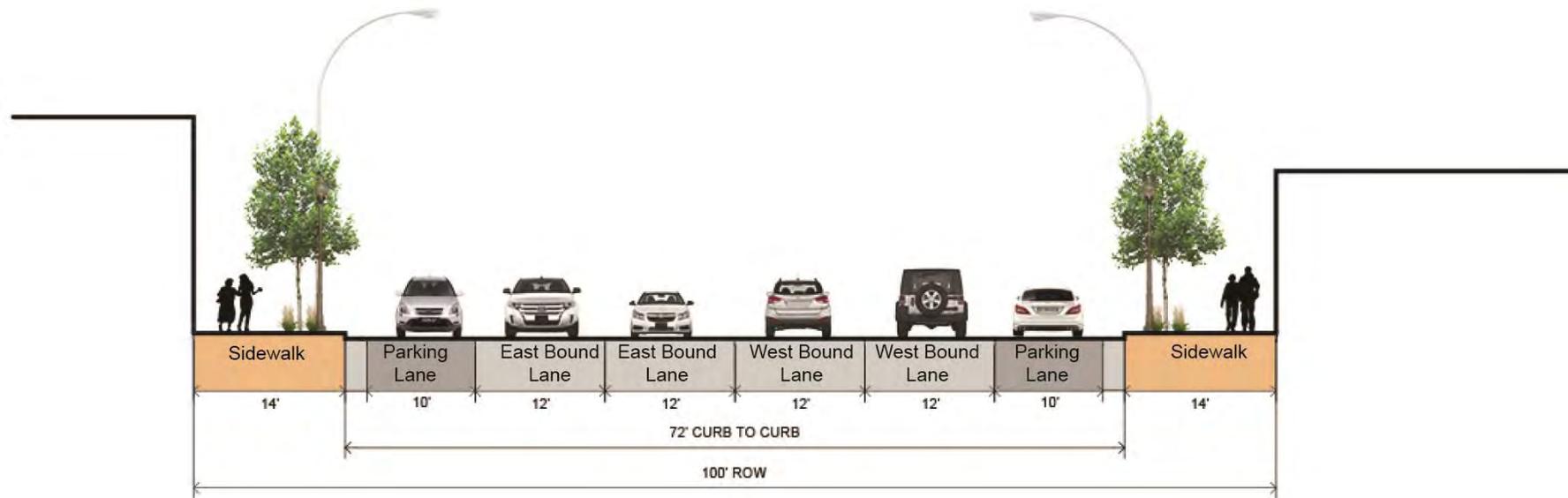
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Primary Street - Proposed Elm Street



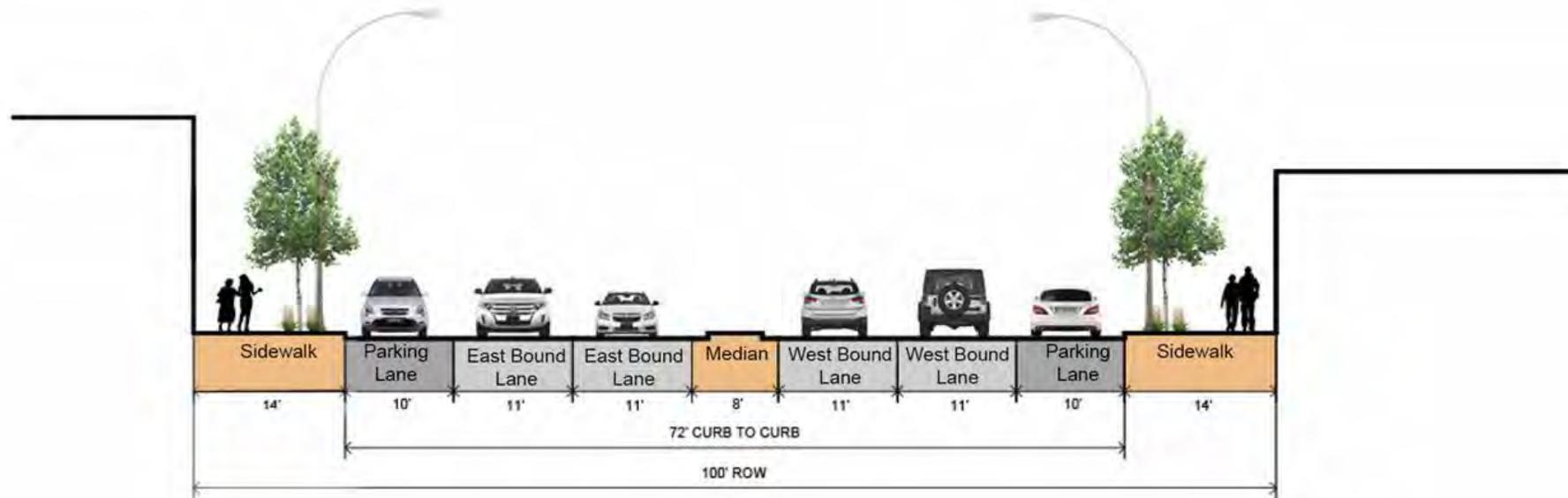
Streetscape Design Strategy

Primary Street - Existing Elm Street



Streetscape Design Strategy

Primary Street - Proposed Main Street



Streetscape Design Strategy

Primary Street - Proposed Main Street



Streetscape Design Strategy

Main + Elm Intersection



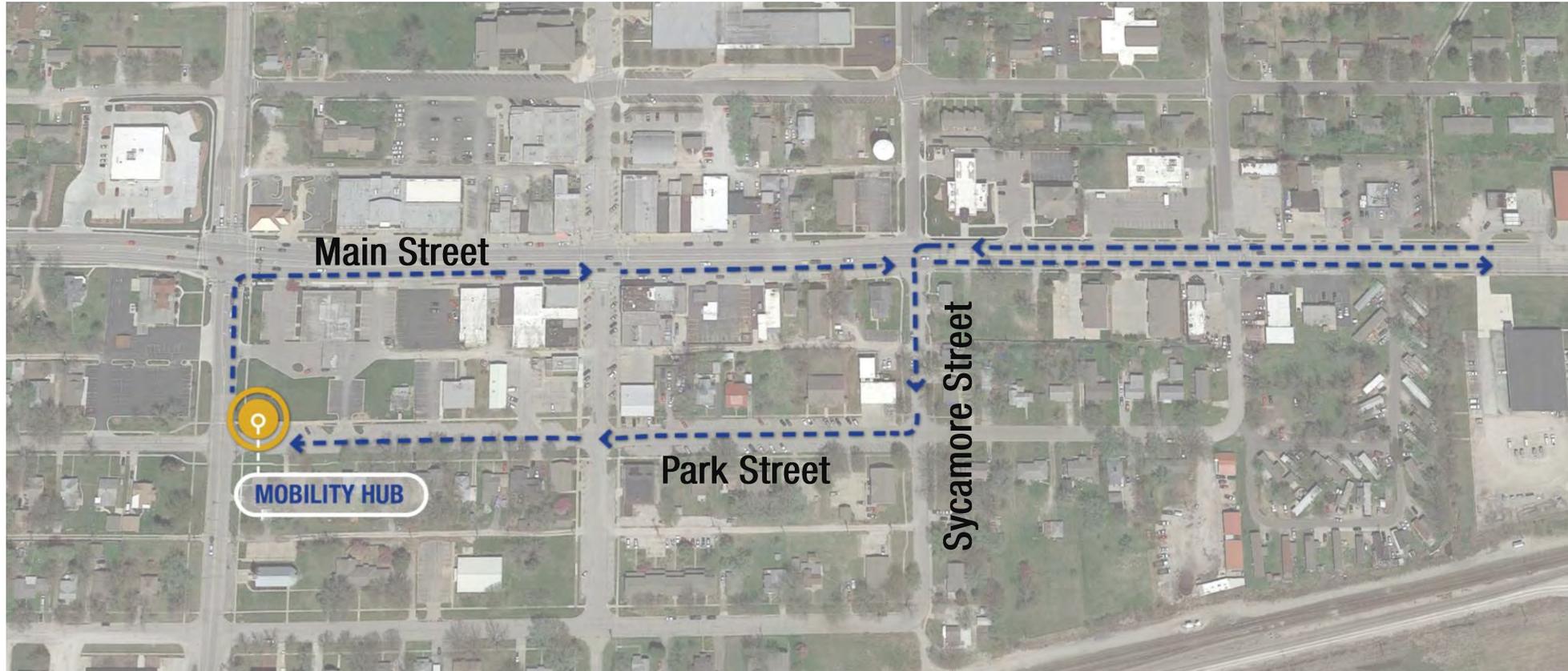
Streetscape Design Strategy

Main + Elm Intersection



Mobility Hub

Proposed Bus Route



Mobility Hub

Mobility Hub



Master Plan



GARDNER DESTINATION DOWNTOWN
City of Gardner, Kansas

Streetscape Design Strategy



Streetscape Design Strategy



Streetscape Design Strategy



Streetscape Design Strategy



Streetscape Design Strategy



Streetscape Design Strategy



Streetscape Design Strategy



PROJECT NUMBER / TITLE: Annual Review of the Comprehensive Plan

REQUESTED ACTION

Staff recommends receiving the annual review of the Comprehensive Plan and initiating amendments as identified in the staff report, with draft text to be presented at future meetings in 2020.

BACKGROUND / HISTORY

State Statute, §12-747(d) states that at least once each year, the Planning Commission shall review or reconsider the plan or any part thereof and may propose amendments, extensions or additions to the same.

The *City of Gardner Comprehensive Plan* was adopted in September 2014. The Plan identified ongoing tasks as follows:

- “use the plan daily” to inform decision making
- “review the plan” and “update as needed” to “reflect the changing needs of the community”
- “coordinate the Plan with the CIP” (Capital Improvement Program)
- “maintain open communication” and “promote cooperation” through public engagement

The following is a brief summary of updates that have occurred since adoption in 2014:

2015

Addressing the short-term recommendation to “develop specific plans for priority development areas” identified as Downtown, the Johnson County Fairgrounds, Main Street Corridor, I-35 Interchange Areas, 191st Street Corridor, and the Southeast Quadrant Market-Determined Area, the City initiated the public processes to create subarea plans for the I-35 Interchange Areas, 191st Street Corridor, and the Southeast Quadrant Market-Determined Area. The resulting subarea plans reflect Comprehensive Plan amendments in 2016 and 2018.

2016 – Ordinance 2517

Addressing the medium-term recommendation to update plans for roadways, parks and infrastructure to be consistent with the Comprehensive Plan, in early 2016 the City initiated the creation of a Capital Improvement Element (CIE) covering a 20-year period. As part of this process, the water, wastewater, electric and transportation master plans were updated. This reflects Comprehensive Plan amendments in 2017.

In June of 2016, an amendment to the Comprehensive Plan was adopted to incorporate by reference the *I-35 & Gardner Road Interchange Subarea Plan*.

In 2016, the City submitted the 2014 Comprehensive Plan to the *Comprehensive Plan Standards Recognition Program Pilot* through the American Planning Association (APA) for review to best practices for addressing sustainability. Plan reviewers offered feedback that additional consideration be given to issues of equity, green energy, green buildings, and hazard mitigation.

To address a short-term recommendation, the Planning Commission reviewed a draft “implementation action agenda” meant to inform the City’s Capital Improvement Program (CIP) and assign project priorities, responsibilities and potential funding sources. A subset of these implementation items were assigned project priorities as part of the 2017 amendments to the Comprehensive Plan. The remainder are not yet prioritized.

2017 – Ordinance 2553 and 2554

In September of 2017, the Comprehensive Plan was amended to incorporate information from the completed infrastructure and utilities master plans and population study (Chapters 2, 4, 7, 10, 11 and 12). The Action Table including all plan recommendations was incorporated as Appendix A without ranked priorities. The CIE was adopted as Chapter 12 and includes priority rankings for certain infrastructure projects.

Addressing the short-term recommendation to develop specific plans for priority development areas including Downtown and the Main Street Corridor, the City of Gardner initiated the planning process for the *Gardner Main Street Corridor Plan and Market Analysis*. The adoption of this plan reflects Comprehensive Plan amendments in 2018.

2018 – Ordinance 2574, 2582 and 2596

In January of 2018, the Planning Commission initiated potential amendments to address the following:

1. Additional information created as part of various planning exercises completed since 2014.
2. Subsequent community visioning exercises indicating recommended changes to the future land use descriptions and locations to accommodate preferred development.
3. Anticipated growth outside existing City boundaries.
4. Inconsistencies between the current zoning map and the future land use map.
5. Plan recommendations that have already been addressed.

In April of 2018, the Comprehensive Plan was amended to reflect the adoption of the *Gardner Main Street Corridor Plan (MCP) and Market Analysis* (incorporated by reference), and to update tasks that were addressed with the adoption of the *Gardner Land Development Code (LDC) or MCP*. The Future Land Use Categories and Future Land Use Map were updated accordingly per those documents. The status of all items in the Action Plan was updated to reflect implementation progress. These amendments involved Chapters 1-5, 9-11 and Appendix A.

In June of 2018, the Comprehensive Plan was amended to reflect the adoption of the *I-35 & Gardner Road Interchange Subarea Plan* (incorporated by reference). In December of 2018, Chapter 12 CIE was updated.

2019

No amendments were presented or adopted in 2019. However, Consultant Dave Knopick and staff led an annual review of the Comprehensive Plan in a joint work session with the Governing Body and Planning Commission in December 2018. Identified action items that were discussed but not yet initiated are presented in the next section. The City began the process of creating the *Gardner Destination Downtown Plan* to further the implementation process for the *Gardner Main Street Corridor Plan* in an 8-block area of Downtown. The adoption of this plan will reflect Comprehensive Plan amendments in 2020.

STAFF ANALYSIS

Items that were initiated as potential amendments in January 2018 but have not yet been implemented include:

General updates

1. Update Table of Contents.

Chapter 2 updates

2. Update the “Community Characteristics” section in Chapter 2, in particular the existing land use information under “Land Use & Development”, zoning and vacancy information under “Land Use & Development Characteristics”, and “Existing Land Use” map to reflect community growth since 2014.
3. Update the “Transportation & Mobility” section as needed to reflect the updated *Transportation Master Plan*, including the “Existing Transportation” map.
4. After review of the market analysis of the *Gardner Main Street Corridor Plan*, consider whether to update the “Market & Demographics” section, in particular the “Retail/Commercial” section for consistency.

Chapter 4 updates

5. Revisit the “Transportation & Mobility” goals and objectives for consistency with the updated *Transportation Master Plan*.

Chapter 5 updates

6. Determine whether to amend the future land use designations for areas outside the *Gardner Main Street Corridor Plan* study area and subarea plan study areas based on modifications to future land use descriptions and development trends.
7. Amend the “City of Gardner Residential Areas Plan” map to incorporate more specific information for the subareas to the east of I-35. This will involve designating them as New Growth or Long-Term Growth areas, and updating the “Gardner Residential Growth Capacity Analysis” for priority and long-term growth types accordingly.
8. Update the “Commercial Areas Plan”, particularly the “Main Street Corridor” and “Community Commercial” sections, to reflect recommendations from the *Gardner Main Street Corridor Plan*, *Gardner Destination Downtown Plan*, and requirements of the *Gardner Land Development Code*. Also includes updating the associated map.
9. Update the “Industrial Areas Plan” to reflect recommendations from the *Gardner Main Street Corridor Plan* as highlighted above and the requirements of the *Gardner Land Development Code*. Also includes updating the associated map.

Chapter 6 updates

10. Update all applicable information and maps pertaining to the updated *Transportation Master Plan*, *Gardner Main Street Corridor Plan*, *Gardner Destination Downtown Plan*, recommendations of the applicable citizen advisory committees, and completed projects.
11. Update public transit information to reflect current conditions and the recommendations of the *Southwest Johnson County Transit Plan and Gardner Destination Downtown Plan*.
12. Include recommended street types for Gardner roadways on a new map, based on the *Gardner Land Development Code*.
13. Indicate the adoption of a Complete Streets Policy as part of the *Gardner Land Development Code*.

Chapter 9 updates

14. Update the “Events & Promotion” section to reflect Gardner’s recent rebranding activities and results.

Appendix A updates

15. Create an annual executive summary of achieved tasks as an introductory “progress report” in “Appendix A: Action Plan”, and update the status column of the accompanying table. Such summaries should be created for each year beginning in 2015.

16. Include information on the methods of continuing public engagement that have been undertaken since 2014, and the associated documents or initiatives.

Potential action items discussed at the joint review session in December 2018 include:

1. Ensure the plan reflects support for both local entrepreneurial and corporate economic opportunities and formats.
2. Broaden economic development concerns to address tax base, affordability of living, and community identity among other issues. Review retail trends to ensure consistency with what the community promotes.
3. Consider consolidating the vision to one or two statements which may address the following priorities:
 - a. Steady tax base
 - b. Business-friendly environment
 - c. Quality-of-life and safety
4. Consider updating the City motto.
5. Structure goals and objectives to be more concise.
6. Prioritize the goals and objectives based on the following potential factors:
 - a. Growth and annexation
 - b. Transportation and mobility (includes infrastructure)
 - c. Neighborhoods and housing
 - d. Community character (includes open space, recreation, environmental features)
7. Consider the implications of current housing trends and how they are impacted by lifestyle choices.

Additional recommended action items for 2020 plan amendments

1. Incorporate the *Gardner Destination Downtown Plan* – The Comprehensive Plan must be updated in 2020 to reflect the recommendations of the *Gardner Destination Downtown Plan* (to be incorporated by reference after adoption).
2. Annual update of Chapter 12 Capital Improvements Element – Amend the CIE and Capital Improvements Plan to include items from the *Gardner Destination Downtown Plan*.
3. Future land use planning for the remainder of the community – Facilitate a concentrated community planning exercise to update the remainder of the City's land use plan to reflect emerging growth trends and community needs and preferences. This will be important to guide development during this time of rapid growth and annexation.
4. Incorporate relevant information and recommendations from regional plans – Staff should research regional plans for information on relevant trends that impact Gardner's Comprehensive Plan, such as the Mid-America Regional Council's 2040 forecasts, Connected KC 1050 (Transportation), Climate Action Playbook 2019, Regional Green Infrastructure Policy Framework, Communities for All Ages program, and Regional Housing Plan. A greater focus should be created for issues of sustainability and resilience.

RECOMMENDATION

Staff recommends receiving the annual review of the Comprehensive Plan and initiating amendments as identified in the staff report (specifically potential action items from the 2018 joint Planning Commission/Governing Body meeting and additional recommended action items for 2020), with draft text to be presented at future meetings in 2020.

Recommended Motion:

The Planning Commission receives the annual review of the Comprehensive Plan and initiates amendments as identified in the January 28, 2020 staff report for implementation as anticipated amendments to the Comprehensive Plan in 2020, specifically those items identified during the 2018 joint Planning Commission/Governing Body meeting and additional recommended items for 2020.

PROJECT NUMBER / TITLE: Recap of 2019 Planning Commission activities

REQUESTED ACTION

A Year in Review – celebrate a job well done!

BACKGROUND / HISTORY

The following is a summary of Planning Commission activities for 2019.

The Commission approved the following projects/applications:

1. **Divine Mercy Church** (Addition of parish residence to site of established church)
 - a. Preliminary Plat – 7.46 acres, 1 residential lot (add land to previously platted parcel)
 - b. Final Plat (1st plat) – same as Preliminary Plat
 - c. Site Plan – 7.46 acres, 1 lot, add a parish residence and detached garage
2. **Waverly Plaza** (mixed-use commercial and multi-family apartments)
 - a. Preliminary Plat – 13.10 acres, 3 commercial lots, 1 residential lot, 2 tracts for clubhouse/pool
 - b. Final Plat – 13.10 acres, 2 commercial lots, 1 residential lot, 1 tract for clubhouse/pool
 - c. Final Development Plan Phase 1 residential and Phase 2 north commercial – 11.6 acres, 2 lots and a tract for the clubhouse and pool
3. **Plaza South** (mixed commercial and civic use complex)
 - a. Preliminary Plat – 28.58 acres, 9 commercial lots
 - b. Final Plat – 28.58 acres, 8 commercial lots
4. **Warren Place Event Center** (commercial development)
 - a. Preliminary Plat – 1.65 acres, combine to 1 commercial lot with 3 buildings
 - b. Final Plat – same as Preliminary Plat
 - c. Final Development Plan – 1.65 acres, 1 commercial lot with 3 buildings and outdoor gardens and gathering areas for events
5. **Ace Hardware** (commercial addition)
 - a. Site Plan – 3,575 sf expansion involving cross access and parking easement with adjacent property
6. **Tallgrass Apartments** (multi-family apartment complex)
 - a. Preliminary Plat – 43 acres, 7 residential lots
 - b. Final Plat (1st Plat) – 13.39 acres, 2 multi-family lots and a tract
 - c. Final Development Plan (Phase 1) – 13.39 acres, 10 buildings (184 dwelling units), 5 garage structures, clubhouse and swimming pool, mail house, trash compactor enclosure, and maintenance building
7. **Quicktrip** (commercial development)
 - a. Site Plan – 9 acres, 2 commercial lots
8. **Symphony Farms Amenities Area** (subdivision pool and restrooms only)
 - a. Site Plan – 2.5 acres, 2 residential lots
9. **Main Street Marketplace** (revised final plat) – 13.4 acres, 4 commercial lots

The Commission recommended that the Council approve the following projects/applications (and Council complied with the recommendation):

1. **Pets Go Here** (pet supply retail, wholesale)
 - a. Rezoning 1.97 acres from M-2 (General Industrial) District to M-1 (Restricted Industrial) District to allow for retail sales onsite (**Ord. 2600**)
2. **Divine Mercy Church** (Addition of parish residence to established church site)
 - a. Rezoning 7.46 acres from A (Agriculture) District to R-4 (Mixed-Density Neighborhood) District (**Ord. 2605**)
3. **Waverly Plaza** (mixed-use commercial and multi-family apartments)
 - a. Rezoning 13.10 acres from CP-2 (Planned General Business), and RP-3 (Planned Garden Apartments) Districts to CP-2 (Planned General Business), and RP-3 (Planned Garden Apartments) Districts (to accommodate revised development plan) (**Ord. 2606**)
 - b. Preliminary Development Plan – 13.10 acres, 5 retail buildings and 5 apartment buildings (144 units) with 5 garage structures, pool and clubhouse (**Ord. 2606**)
4. **Plaza South** (mixed commercial and civic use complex)
 - a. Rezoning 28.58 acres from C-2 (General Business) District to ACP-2 (Activity Center Planned General Business) District (**Ord. 2612**)
 - b. Preliminary Development Plan – 28.58 acres, 6 commercial buildings, 1 lodging, 1 assisted living, and 1 church (**Ord. 2612**)
5. **Tallgrass Apartments** (multi-family apartment complex)
 - a. Rezoning 43 acres from R-3 (Garden Apartment), RP-3 (Planned Garden Apartment) and RP-4 (Planned Mixed Density Neighborhood) Districts to RP-3 (Planned Garden Apartment District) (**Ord. 2621**)
 - b. Preliminary Development Plan – 43 acres, 31 residential apartment buildings and 2 duplex buildings (592 apartment units and 4 duplex units), clubhouse and pool, maintenance building, 19 multi-stall garages and other recreational amenities. (**Ord. 2621**)
6. **Symphony Farms Amenities Area** (subdivision park)
 - a. Rezoning 2.5 acres from R-1 (Single-Family Residential) District to RP-1 (Planned Single-Family Residential) District (**Ord. 2636**)
 - b. Preliminary Development Plan – 2.5 acres, clubhouse, sport court, community garden (**Ord. 2636**)

The Commission recommended approval of the following text amendments (and Council complied with recommendation):

- **TA-19-01 (Ord. 2617)** – Board of Zoning Appeals membership and quorum

Other Commission actions:

- Completed Planning Commission Survey pertaining to orientation, workload, staff reports and communications, staff support, presentations, perceived impact of the work.
- Planning Commissioner Training by Dave Knopick.
- Provided input on potential Land Development Code amendments pertaining to neighborhood meetings, bicycle parking, and garage limits for duplexes.

There was no presentation of the Capital Improvement Program to determine conformance with the Comprehensive Plan in 2019.

There was no review of the Comprehensive Plan, or any Comprehensive Plan amendments in 2019. However, Consultant Dave Knopick and staff led an annual review of the Comprehensive Plan in a joint work session with the Governing Body and Planning Commission in December 2018. Identified action items that were discussed but not yet initiated will be presented in a separate agenda item.

Project Status: 2017 approvals

- Bethel Estates No. 4 – nearing completion.
- Single-family homes under construction at Plum Creek Manor II, Copper Springs IV, and Quail Meadows II.
- Tuscan Farms – anticipated to begin construction on public improvements this spring.

Project Status: 2018 approvals

- Cottages at University Park and Garden Walk apartments – property was sold and new project approved for Tallgrass apartments.
- Gardner Justice Center – complete and already well-loved by the community and staff.
- Gardner Business Center Phase 1 – nearing completion.
- Olathe Health Urgent Care Gardner – nearing completion.
- Willow Chase V – public improvements complete, duplexes under construction.
- Gardner Dental – nearing completion.
- Main Street Market Place – Phase I Price Chopper under construction.
- Mid America Bank – complete.
- Symphony Farms IV – homes under construction.
- Valero Gas Station – building plan for addition has expired.
- Belfonte Car Wash – under construction.
- Olathe Ford RV expansion – rezoned, but no site plan submitted.
- Enterprise Rental – complete.

Project Status: 2019 approvals

- Pets Go Here – added retail component after rezoning.
- Divine Mercy Church – parish residence under construction
- Waverly Plaza – preparing for the construction of public infrastructure improvements in conjunction with the Gardner street improvement projects in the area.
- Plaza South – preparing for the construction of public infrastructure improvements in conjunction with the Gardner street improvement projects in the area.
- Warren Place Event Center – under construction.
- Ace Hardware addition – under construction.
- Tallgrass Apartments – in the process of approving public improvement plans for phase 1.
- Quick Trip – needs preliminary and final plat approval pending negotiations on ROW acquisition/condemnation.
- Symphony Farms Amenities Area – pool and restrooms are currently under construction. Awaiting filing of administrative plat to proceed with remainder of project.

STAFF APPROVALS

Please be aware of the cases that have been reviewed and approved administratively (by staff) through the simplified process enabled by the Land Development Code.

- ***Administrative Plat***
 - University Park No. 2 (12 duplex lot splits, resulting in 24 dwelling units)
 - Genesis Farms Addition #2 (1 duplex lot split, resulting in 2 dwelling units)
 - Gardner Truck Plaza (boundary shift, replat of lot by the Super 8)
 - Sunrise Shore (lot combination at Gardner Lake)
 - Symphony Farms Amenities Area (lot combination for subdivision park)
- ***Administrative Site Plan***
 - Cordray Office (building remodel and change of use)
 - Black and Veatch/AT&T (wireless facility eligible facility request)
- ***Administrative Adjustment***
 - 9 duplexes for Greg Prieb (hardscape, garage limits)

We greatly appreciate your time and effort on the Planning Commission and look forward to a busy 2020!