

PROJECT NUMBER / TITLE: FDP-20-01 New Life Community Church

PROCESS INFORMATION

Type of Request: Final Development Plan
Date Received: January 10, 2020

APPLICATION INFORMATION

Applicant: Phelps Engineering, Inc. – Doug Ubben, Jr.
Owner: New Life Community Church, Inc. – Rick George
Parcel ID: CF221436-2019 and CF221436-2018
Location: North side of 188th Street approximately 770’ East of Gardner Road

REQUESTED ACTION

The applicant is requesting approval of a final development plan for a church.

EXISTING ZONING AND LAND USE

The property is currently zoned ACP-2 (Activity Center Planned General Business) District and is undeveloped.

SURROUNDING ZONING AND LAND USE

| <u>Zoning</u> | <u>Use(s)</u> |
|---|---|
| North of subject property | |
| R-1 (Single Family Residential) District | Single-family homes and large retention area with Electric Transmission Lines |
| East of subject property | |
| C-3 (Heavy Commercial) District | Vacant Property |
| South of subject property | |
| C-2 (General Business) District | Vacant Property |
| West of subject property | |
| ACP-2 (Activity Center Planned General Business) District | Planned Commercial Development (Plaza South) |

EXISTING CONDITIONS

The lots are currently undeveloped and have been used for agricultural purposes. Existing utility infrastructure including sanitary sewer and electric are located adjacent to the parcel. Along the entire northern property line is an approximately 270’ deep tract used for stormwater detention basins for the Aspen Creek subdivision and overhead power lines. Currently 188th Street east of Gardner Road is not paved beyond the portion that accesses Groundhouse South at the southeast corner of the S. Gardner Road and W. 188th Street intersection, but there is an existing

gravel access drive to an interior property abutting I-35. There appears to be no floodplain on the property, although there are some areas designated for potential flooding to the east.



BACKGROUND / HISTORY

This property is part of the Plaza South preliminary development plan and preliminary plat, approved in March, 2019. The final development plan is consistent with the preliminary development plan.

The rezoning and associated preliminary development plan (PDP-19-02, and PP-09-03) were recommended for approval by the Planning Commission at their March 26, 2019 meeting. The Governing Body considered the rezoning and preliminary development plan applications at their April 15, 2019 meeting, and approved Ordinance 2612 rezoning the property from C-2 (General Business) District to ACP-2 (Activity Center Planned General Business) District and approving the associated preliminary development plan subject to the following conditions:

1. The trail along W. 188th Street shall be constructed of concrete.
2. The applicant shall provide for a common area maintenance agreement or property maintenance agreement for all common areas at time of the first final development plan/final plat applications, including the infrastructure within all access and sidewalk easements.
3. All easements shall be approved prior to approval of any final development plan.
4. The stormwater plan and traffic study shall be approved prior to approval of any final development plan.
5. Lots 5, 6, 7, 8 and 9 – To better meet the intent of the required building frontage within this development context, shall include an acceptable vertical element along at least 35% of the front building line, either via a building, plantings, or an ornamental wall or fence complimenting the design of the buildings.

These conditions have all been met.

The Preliminary plat (PP-19-03) was approved by the Planning Commission on March 26, 2019, subject to the following condition:

1. Approval of the Traffic Impact Study and Stormwater Management Plan by City of Gardner Public Works Department.

This condition has been met.

The Final Plat (FP-19-04) was approved by the Planning Commission on October 22, 2019, with the following conditions:

1. Approval of the final Traffic Impact Study and Stormwater Management Plan;
2. Prior to the Mayor signing an approved recordable plat, the applicable excise tax shall be paid to the City;
3. The construction plans for any utilities, infrastructure, or public facilities shall meet all technical specifications and public improvement plans shall be submitted and approved prior to the release of the plat for recording.

This condition has been met.

The Governing Body accepted the dedication of right-of-way and easements on November 18, 2019.

CONSISTENCY WITH COMPREHENSIVE PLAN

The *City of Gardner Comprehensive Plan* and the *I-35 & Gardner Road Interchange Subarea Plan* identifies the properties for Regional Commercial future land uses. This use group provides for goods and services that may attract users from the greater metropolitan area. These uses are generally on larger parcels and are best located near interstates and major arterial roads. This site is within a half mile of the I-35 and Gardner Road interchange and along S. Gardner Road which is an arterial street. 188th Street is a proposed collector street to be extended to the east with this plat. The proposed use, Assembly – large, is for a regional church that is consistent with the Comprehensive Plan.

The proposed development is also consistent with the Comprehensive Plan as follows:

- Commercial area objective to promote commercial growth at the I-35 interchanges to provide neighborhood and regional commercial areas with a diverse range of retail and commercial uses and services.
- Open Space Recreation & Environmental Features objective to increase public bicycle and pedestrian access to community facilities through connections to the local trail system.
- Commercial Areas Plan for Regional Commercial to site buildings to create internal “streets” that are attractive and comfortable for pedestrians and integrate public amenities such as trails.

DEVIATION REQUEST

Chapter 17.07 BUILDING STANDARDS

Section 17.07.050 Frontage Design: Terrace frontage type

Standard:

Access width limit = 20% **OR** up to 20'

Proposed: 31' access for east drive onto 188th Street.

Staff Comment: The access width limits for Terrace Frontage would possibly cause congestion at this access point with the number of vehicles that will be arriving and leaving this site at the same time. The large flared entrance also allows for larger trucks to be able to make deliveries without driving over the curb. Staff is supportive of this deviation.

STAFF ANALYSIS - FINAL DEVELOPMENT PLAN

This section highlights contents of the application which may merit particular consideration in regard to zoning intent and standards. If a standard is not presented, it has been met. Standards not met will be addressed in conditions of approval at the end of this report. A full analysis to all applicable regulations is available on request.

This application is being reviewed per the Planned Development process of Section 17.03.040 of the LDC, and specifically Section 17.06.040 Activity Center Planned District. The uses for this district are based on the typically applicable base zoning district (C-2) associated with the Comprehensive Plan Future Land Use category for the site (Regional Commercial).

17.03.040 (F) Review Criteria:

- In general, any final development plan in compliance with all requirements of this Code shall be approved.

Staff Comment: *The final development plan is generally in compliance to the Code with the exception of the approved deviations from the preliminary development plan and recommended conditions of approval as follows:*

- *Substitute deciduous trees for the northern-most trees adjacent to the deferred parking, and space along the perimeter of the parking lot.*
 - *Provide a direct, continuous sidewalk from the Church to the deferred parking lot.*
2. In making a determination of compliance, or for final development plans accompanying any discretionary review or administrative relief, the review body shall consider whether:
- a. The site is capable of accommodating the buildings, proposed use, access and other site design elements required by the Code and will not negatively impact the function and design of rights-of-way or adjacent property.

Staff Comment: *The final development plan is generally consistent with the preliminary development plan. Items such as building standards and landscaping requirements are reviewed under the current Land Development Code (LDC). This plan has met all of the applicable standards with the exception of the landscape plans. The applicant will need to correct the calculations as provided on the landscape plans and will be a condition of approval for the final development plans.*

- b. The design and arrangement of buildings and open spaces is consistent with good planning, landscape design and site engineering principles and practices.

Staff Comment: *The design and arrangement of the building and open spaces is consistent with good design, principles and practices. The site includes features and amenities that establish a built relationship with adjacent sites and the public realm.*

- c. The architecture and building design uses quality materials and the style is appropriate for the context considering the proportion, massing, and scale of different elements of the building.

Staff Comment: *The building design and size is appropriate with the size of the lot and its close proximity to the interstate. The elements are proportional to the building and create a unique structure within this side of the community. Materials include decorative siding and a mix of metal and natural materials.*

- d. The overall design is compatible to the context considering the location and relationships of other buildings, open spaces, natural features or site design elements.

Staff Comment: *The overall design is compatible to the context of the surrounding properties as discussed above.*

- e. Whether any additional site-specific conditions are necessary to meet the intent and design objectives of any of the applicable development standards.

Staff Comment: *A few trees will need to be changed along the north parking lot, other than this condition, no additional site specific conditions are necessary.*

- The application meets the criteria for all other reviews needed to build the project as proposed.

Staff Comment: *The applicant shall be required to submit and receive approval of public improvement plans for the extension of a public water main in order to add an additional fire hydrant onsite. An existing utility easement can be utilized for this extension onsite. This will be a condition of approval.*

- The recommendations of professional staff.

Staff Comment: *Staff recommends approval of the final development plan for New Life Community Church to be located on the north side of 188th Street approximately 770' east of Gardner Road with the conditions outlined in the recommendation section of this staff report.*

- The final development plan is in substantial compliance with the approved preliminary development plan.

Staff Comment: *The final development plan is in substantial compliance with the approved preliminary development plan.*

DEVIATIONS (Previously Approved)

Section 17.06.010 of the Land Development Code states “Departures from the standards associated with all zoning districts may be considered through planned zoning, and approved provided they are based upon a comprehensive and well-integrated development plan for the area. These departures shall not be justified for simply wanting flexibility or deviations from standards based upon a site plan.” **The deviations that were request by the applicant and approved at the March 26, 2020 Planning Commission meeting as pertaining to Lot 9 are listed below:**

Chapter 17.07 BUILDING STANDARDS

Section 17.07.050 Frontage Design: Lots 5,6,7,8 and 9: Terrace frontage type

Standard:

Required building frontage = **70%** (a minimum of 70% of the lot frontage that shall be occupied by the principal structure at the front building line – appropriate for buildings which have a 10’ – 25’ setback from the street). An exception may be granted for up to 50% of this requirement through the administrative adjustment process, provided:

- a. The site provides active pedestrian space comparable to the Open and Civic Space System; and
- b. A vertical element such as a low hedge, ornamental wall, or fence complementing the design and materials of the building is substituted as an extension of the building line.

Proposed: Lots 5-9 - 0% of the frontage is occupied by the principal structures within the “appropriate” 10’ – 25’ setback range.

Applicant Response: A deviation is requested for the required building frontage of 70%. Additional landscaping, berming or other feature would be provided on these lots as an amenity. This will be detailed further on the final development plans.

Staff Comment: Staff is supportive of this deviation. The applicant has provided sufficient plantings along with other features that meet the 35% vertical elements along the front building line.

Chapter 17.07 BUILDING STANDARDS

Section 17.07.050 Frontage Design: Lots 5,6,7,8, and 9 Terrace frontage type

Standard:

Direct sidewalk connections at least 8' wide to the streetscape shall occur at least every 50'.

Proposed: The applicant has provided one required 8' wide sidewalk connecting the public sidewalk to the building entrance for each lot, and has also provided 5' wide "public" sidewalks along every private street.

Applicant Response: A deviation for direct sidewalk connections every 50 feet. Having a sidewalk every 50' would be not needed due to the large lot size and single user of the facility, and if sidewalks were placed every fifty feet they would not be used and be a maintenance and unnecessary expense to the owner.

Staff Comment: This requirement is meant to support walkable development patterns. As designed, each lot utilizing the Terrace Frontage Type has 2-3 pedestrian connections to the "public" sidewalk along the streets. Because of the configuration of the larger individual lots and internal vehicular circulation patterns, additional sidewalk connections would be ineffective and possibly unsafe. Staff recommends approving this deviation.

Chapter 17.07 SUBDIVISION STANDARDS

Section 17.07.040 Specific Building Type Standards: Lot 9, Prominent Civic Building Type

Standard:

Lot Size and Area

2.5 – 5 acres; larger lot sizes permitted only as part of a campus plan through the planned development process that considers internal access and circulation with surrounding areas.

Proposed: This lot is 11.65 acres, far exceeding the range allowed.

Applicant Response: This request is due to the following factors:

1. Size of proposed church including 1092-seating sanctuary, Sunday school classrooms, church offices, Christian school, and basketball court that will also serve as a community use space.
2. Amount of parking required for church and community use basketball court.
3. Land dedicated for above ground BMPs and detention areas.
4. Open ground for use as soccer field and vacation Bible school outside activities, etc.
5. Open space on south side of property for community open space.

Staff Comment: Staff recommends approval of this deviation as the applicant is using the planned development process, and the plan is designed around internal access and circulation patterns that improve vehicular, pedestrian, and bicycle mobility and connect appropriately with surrounding areas.

Chapter 17.07 BUILDING STANDARDS

Section 17.07.040 Specific Building Type Standards: Lot 9, Prominent Civic Building Type

Standard:

Building Placement – Front setback = 20' – 50'

Proposed: The building is placed at over 287' setback.

Applicant Response: There are several factors and constraints that are driving the need for the requested 287' front yard setback. The front of the church needs to face south to have the potential to be seen from Interstate I-35 to the south. Although a 20'-50' front setback would seem to be advantageous for better visibility to I-35, there are other constraining factors that necessitate the requested 287' building setback. These constraining design factors include the shape of the site, the orientation and configuration of the building footprint (due to economics and function), and location of the majority of parking spaces that need to have close proximity to the main entrance of the church. Since the lot is rectangular-shaped with the long leg running north to south, there is not enough room to have substantial parking on the east or west side of the building based on the configuration of the building footprint and width of the site.

We are proposing a community use site amenity area on the south side of the property along the 188th Street ROW to provide a use to meet the intent of a close Prominent Civic building type setback. This area will have park benches, picnic tables with shade structures, butterfly bushes, and limestone fence post along the walking trail.

Staff Comment: Staff encouraged the applicant to re-orient this prominent civic use nearer to the street as intended. Applicant response is included above. As an alternative, staff asked the applicant to include elements better addressing the streetscape, such as civic open space, public art, benches along the trail, a decorative street wall, etc. As a result, the applicant provided a winding trail within a 60' easement that includes park benches with shelter, picnic tables with shelters, and row of butterfly bushes. Other amenities will be addressed at time of final development plan, as they are not typically shown on a preliminary development plan. Staff recommends approval of this deviation based on the proposed amenities that establish a built relationship with the public realm.

STAFF ANALYSIS – INFRASTRUCTURE / OTHER

UTILITIES

Electric will be extended onto the site from 188th Street and will be looped back into the Plaza South development through a private street. The sanitary sewer is connected from the existing sewer main located along the north side of 188th Street. Water lines are connecting both from an existing main off of 188th Street and will be looped around the building. Stormwater facilities for the church are located along the east side of the site. Utilities are adequately provided for with this project. Public improvement plans will need to be approved before building permits are issued. *This is a condition of approval.*

ROADWAY NETWORK AND VEHICULAR ACCESS

Access to the site is by way of both a private access road and 188th Street. Currently there are no paved access to this development. The Fire Department is requiring that before building permits can be issued, paved access to this site must be established to the site. *This will be a condition of approval.*

SIDEWALKS

A 10' wide trail will be provided along the north side of 188th Street. 5' sidewalks are provided from the parking lots and extending around the building. A connecting 5' sidewalk will be provided to the commercial development to the west of this site.

FIRE

Private fire hydrants will be placed around the building.

ATTACHMENTS

- I. Final development plan documents
- II. Application

RECOMMENDATION

Staff recommends approval of final development plan FDP-20-01 for New Life Community Church located on the north side of 188th Street approximately 770' east of Gardner Road subject to the following conditions:

1. The construction plans for any utilities, infrastructure, or public facilities shall meet all technical specifications and public improvement plans shall be submitted and approved prior to issuance of a building permit;
2. The final plat FP-19-04 shall be recorded with the Johnson County Records and Tax Administration prior to the issuance of a building permit;
3. Paved access meeting Fire District and City requirements shall be provided to the site prior to the issuance of building permits;
4. Approval of the final Traffic Impact Study and Stormwater Management Plan;
5. Substitute deciduous trees for the northern-most trees adjacent to the deferred parking, and space along the perimeter of the parking lot.
6. Provide a direct, continuous sidewalk/crosswalk from the Church to the deferred parking lot.

Recommended Motion:

After review of Application FDP-20-01, a final development plan for New Life Community Church (Tax IDs CF221436-2019 and CF221436-2018), and final development plans dated February 14, 2020, and staff report dated February 25, 2020, the Planning Commission approves the application provided the following conditions are met:

1. The construction plans for any utilities, infrastructure, or public facilities shall meet all technical specifications and public improvement plans shall be submitted and approved prior to issuance of a building permit;
2. The final plat FP-19-04 shall be recorded with the Johnson County Records and Tax Administration prior to the issuance of a building permit;
3. Paved access meeting Fire District and City requirements shall be provided to the site prior to the issuance of building permits;
4. Approval of the final Traffic Impact Study and Stormwater Management Plan;

5. Substitute deciduous trees for the northern-most trees adjacent to the deferred parking, and space along the perimeter of the parking lot.
6. Provide a direct, continuous sidewalk/crosswalk from the Church to the deferred parking lot.

UNPLATTED
OWNER: ASPEN CREEK
HOMES ASSOCIATION
ZONING: R-1

| ZONING | |
|--------|-------|
| Zoning | ACP-2 |

| LOT AREA DATA | | |
|---------------|-----------|------------|
| LOT 8 | 507472 SF | 11.650 Ac. |
| LOTS TOTAL | 507472 SF | 11.650 Ac. |

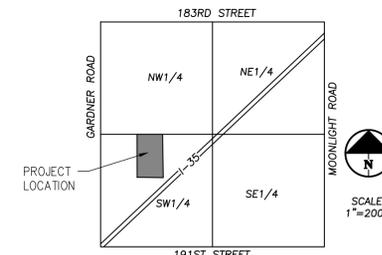
| SITE DATA | | | | | | | | |
|-------------------------|----------------------------------|-------------------|---------------|------------|-------------|-----------|--------------------------|----------|
| Lot 8 (Church) Total | Building Type Prominent Civic | # of Stories 2 | Total | Building | Building | Max. Code | Frontage Type Terrace | |
| | | | Building Area | Coverage | Lot Area | Coverage | | Coverage |
| | | | 71058 S.F. | 53057 S.F. | 507472 S.F. | 10.5% | 50.0% | |
| | | | 71058 S.F. | | | | | |
| | | | FAR=0.14 | | | | | |

| PARKING DATA | | | | | | | | | |
|--------------|----------------------|------------|-----------------|--------------------------|---------------------------|------------------------|----------------------|-----------------------|-----------------------|
| LOT 8 | Church (1,092 Seats) | Building | Ratio Required | Vehicle Parking Required | Vehicle Parking Provided* | ADA Parking Required** | ADA Parking Provided | Bike Parking Required | Bike Parking Provided |
| | | 51900 S.F. | (1 per 4 Seats) | 273 | 397 | 9 | 10 | 14 | 15 |

*Provided Parking Counts Includes "Deferred Spaces"
** Per 2010 ADA Standards for Accessible Design

LEGEND

- PLAT LINE
- - - LOT LINE
- - - RIGHT-OF-WAY
- ==== 2' CURB & GUTTER
- B.L. --- BUILDING SETBACK LINE
- P.L. --- PARKING SETBACK LINE
- L.S. --- LANDSCAPE SETBACK LINE
- [Hatched Box] HEAVY DUTY ASPHALT PAVEMENT
- [Dotted Box] ASPHALT PAVEMENT
- [Stippled Box] CONCRETE PAVEMENT
- [Cross-hatched Box] CONCRETE SIDEWALK



VICINITY MAP
SEC. 36-14-22

LEGAL DESCRIPTION:

ALL OF LOT 8, PLAZA SOUTH, A PLATTED SUBDIVISION OF LAND IN THE CITY OF OVERLAND PARK, JOHNSON COUNTY, KANSAS.

BENCHMARK: VERTICAL DATUM = NAVD88 BASED ON JOHNSON COUNTY VERTICAL DATUM JOHNSON COUNTY BENCHMARK NETWORK BERNSTEIN ALUMINUM DISK STAMPED #1106 IN EAST END OF THE NORTH HEADWALL OF ROB ON NORTH SIDE OF 191ST STREET. ELEVATION = 1025.79

- FOUND "L" CUT IN CENTER OF FRONT FACE OF CURB INLET ON EAST SIDE OF GARDNER ROAD AT MIDDLE OF PHILLIPS 66.
ELEVATION = 1044.12
- SET "F" CUT ON NORTHWEST CORNER OF CONCRETE PAD FOR ELECTRIC TRANSFORMER PAD AT NORTHEAST CORNER OF GROUNDHOUSE COFFEE.
ELEVATION = 1046.77
- SET RAILROAD SPIKE WEST SIDE OF 5TH POWER POLE EAST OF GARDNER ROAD MIDDLE OF SOUTH PROPERTY.
ELEVATION = 1050.08
- SET RAILROAD SPIKE WEST SIDE OF 8TH POWER POLE EAST OF GARDNER ROAD SOUTHEAST CORNER OF PROPERTY.
ELEVATION = 1041.94

FLOOD NOTE:

THIS PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF GARDNER, COMMUNITY NO. 200164, JOHNSON COUNTY, KANSAS, MAP NO. 20091C0120G, AND DATED AUGUST 3, 2009.

DEVIATION NOTES:

- DEVIATION #1: INCREASE STANDARD LOT SIZE OF 2.5 TO 5 ACRES FROM THE DEVELOPMENT STANDARDS RANGE TO 11.65 ACRES.
- DEVIATION #2: INCREASE BUILDING SETBACK BETWEEN 20' AND 50' FOR PROMINENT CIVIC TYPE. INCREASE THE FRONT YARD SETBACK TO 293'±.
- DEVIATION #3: DEVIATION OF THE BUILDING FRONTAGE OF 70%. LOT 9 INCLUDES AMENITIES, TRAILS AND LANDSCAPING ALONG 188TH STREET.
- DEVIATION #4: DEVIATION FROM DIRECT SIDEWALK CONNECTIONS EVERY 50 FEET. SEE SITE PLAN FOR PROPOSED SIDEWALK CONNECTIONS.

ARCHITECT:

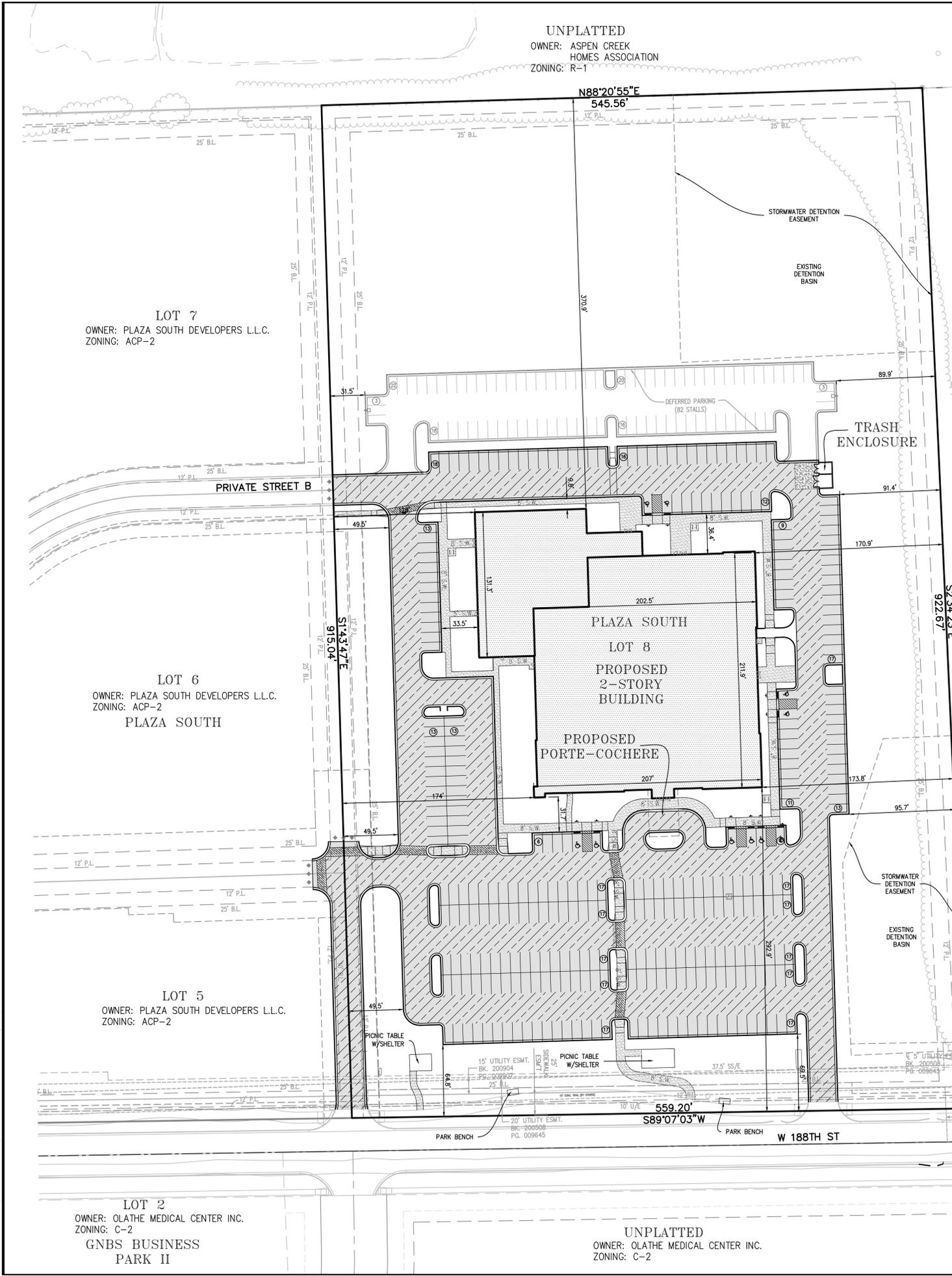
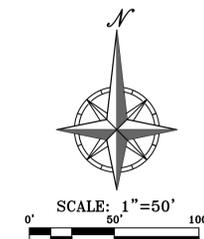
ROSE DESIGN BUILD, INC.
P.O. BOX 100
OLATHE, KS 66051
913-782-0777 OFFICE
913-782-0998 FAX
CONTACT: CHRIS R. BELL, AIA
EMAIL: chrisb@buildwithrose.com

CIVIL ENGINEER:

HELPS ENGINEERING, INC.
1270 N. WINCHESTER
OLATHE, KS 66061
913-393-1155 OFFICE
913-393-1166 FAX
CONTACT: JUDD CLAUSSEN, P.E.
EMAIL: jclausen@helpsenengineering.com

OWNER/DEVELOPER:

NEW LIFE COMMUNITY CHURCH
17335 MOONLIGHT ROAD
GARDNER, KA. 66030
(913) 856-5683



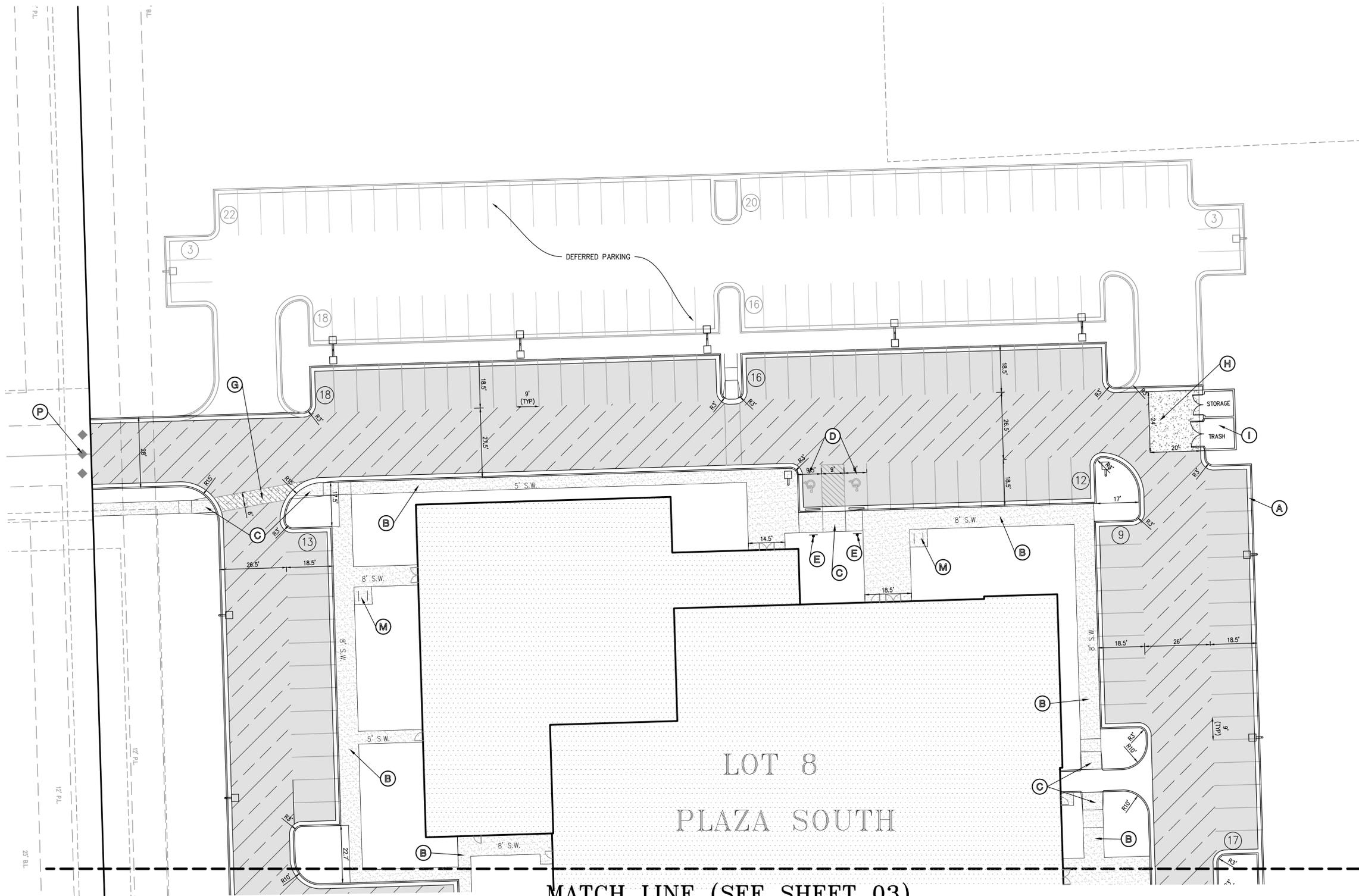
V:\PHILIPS-SEWER\Projects\181177\Map\Final Dev\OVERALL SITE PLANNING Layout1.rvt Feb 14, 2020 - 11:41am Aron Norris

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PLANNING
ENGINEERING
IMPLEMENTATION

SITE PLAN - OVERALL
NEW LIFE COMMUNITY CHURCH
GARDNER, KANSAS
FINAL DEVELOPMENT PLANS

| PROJECT NO. | DATE | BY | APP. | REVISIONS: |
|-------------|---------|-----|------|---------------------------|
| 181177 | 1/10/20 | JMO | ALN | REVISED PER CITY COMMENTS |
| | 2-3-20 | JMO | ALN | REVISED PER CITY COMMENTS |
| | 2-11-20 | JMO | ALN | REVISED PER CITY COMMENTS |



MATCH LINE (SEE SHEET 03)

SITE KEY NOTES:

- (A) CONSTRUCT 2' CURB & GUTTER (TYPICAL).
- (B) CONSTRUCT PRIVATE CONCRETE SIDEWALK (TYPICAL).
- (C) CONSTRUCT PRIVATE SIDEWALK RAMP WITH LAYDOWN CURB & GUTTER.
- (D) CONSTRUCT ACCESSIBLE PARKING SPACE. INSTALL PAVEMENT MARKINGS, LAYDOWN CURB & BUMPERS. SEE ACCESSIBLE PARKING SPACE DETAIL.
- (E) INSTALL HANDICAPPED PARKING SIGN.
- (F) INSTALL VAN ACCESSIBLE PARKING SIGN.
- (G) CONSTRUCT SCORED CONCRETE PEDESTRIAN CROSSWALK.
- (H) INSTALL CONCRETE PAVEMENT.
- (I) INSTALL TRASH ENCLOSURE (REFER TO ARCH. PLANS).
- (J) INSTALL MONUMENT SIGN.
- (K) INSTALL PICNIC AREA.
- (L) CONSTRUCT CONCRETE PAD & INSTALL BENCH.
- (M) INSTALL BIKE RACK (5-STALLS).
- (O) INSTALL POLE SIGN.
- (P) INSTALL END OF ROAD MARKERS.

LEGEND

- PLAT LINE
- - - LOT LINE
- - - RIGHT-OF-WAY
- 2' CURB & GUTTER
- - - B.L. BUILDING SETBACK LINE
- - - P.L. PARKING SETBACK LINE
- - - L.S. LANDSCAPE SETBACK LINE
- ▨ HEAVY DUTY ASPHALT PAVEMENT
- ▩ ASPHALT PAVEMENT
- ▤ CONCRETE PAVEMENT
- ▥ CONCRETE SIDEWALK



SCALE: 1"=20'

| PROJECT NO. | 181177 | No. | Date | By | App. | Revisions: |
|------------------------------|------------|-----|---------|-----|------|---------------------------|
| DATE: 1/10/20 | DRAWN: JMO | 1 | 2-3-20 | JMO | ALN | REVISED PER CITY COMMENTS |
| CHECKED: DEU | APPROVED: | 2 | 2-11-20 | JMO | ALN | REVISED PER CITY COMMENTS |
| CERTIFICATE OF AUTHORIZATION | | | | | | |
| LAND SURVEYING - LS-82 | | | | | | |
| ENGINEERING - E-391 | | | | | | |
| CERTIFICATE OF AUTHORIZATION | | | | | | |
| LAND SURVEYING - 2020010128 | | | | | | |
| ENGINEERING - 2020020228 | | | | | | |

MATCH LINE (SEE SHEET 02)

LOT 8 PLAZA SOUTH

SITE KEY NOTES:

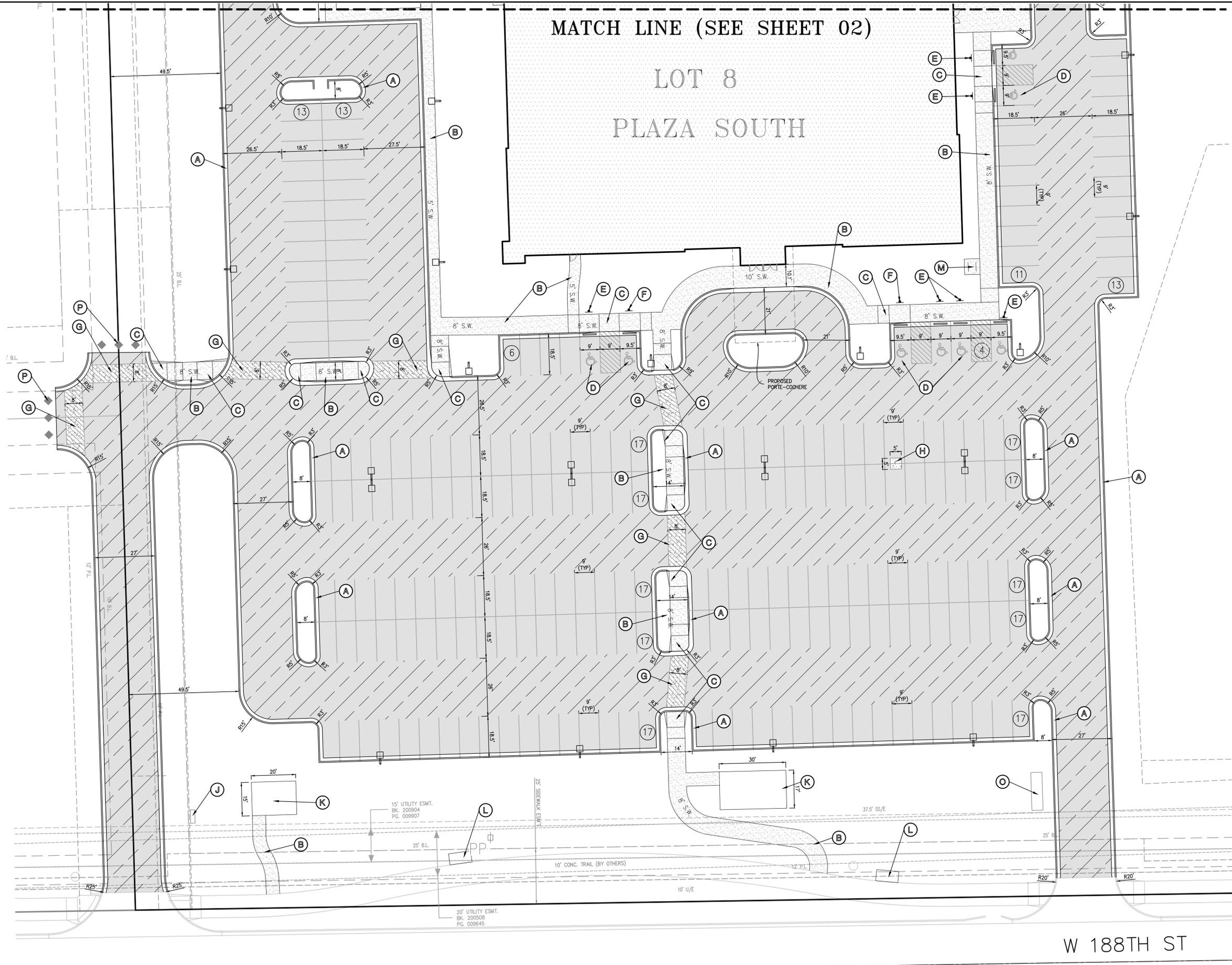
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- (F) INSTALL VAN ACCESSIBLE PARKING SIGN.
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LEGEND

- PLAT LINE
- - - LOT LINE
- - - RIGHT-OF-WAY
- 2' CURB & GUTTER
- - - B.L. BUILDING SETBACK LINE
- - - P.L. PARKING SETBACK LINE
- - - L.S. LANDSCAPE SETBACK LINE
- ▨ HEAVY DUTY ASPHALT PAVEMENT
- ▩ ASPHALT PAVEMENT
- ▧ CONCRETE PAVEMENT
- ▤ CONCRETE SIDEWALK



SCALE: 1" = 20'
0' 20' 40'



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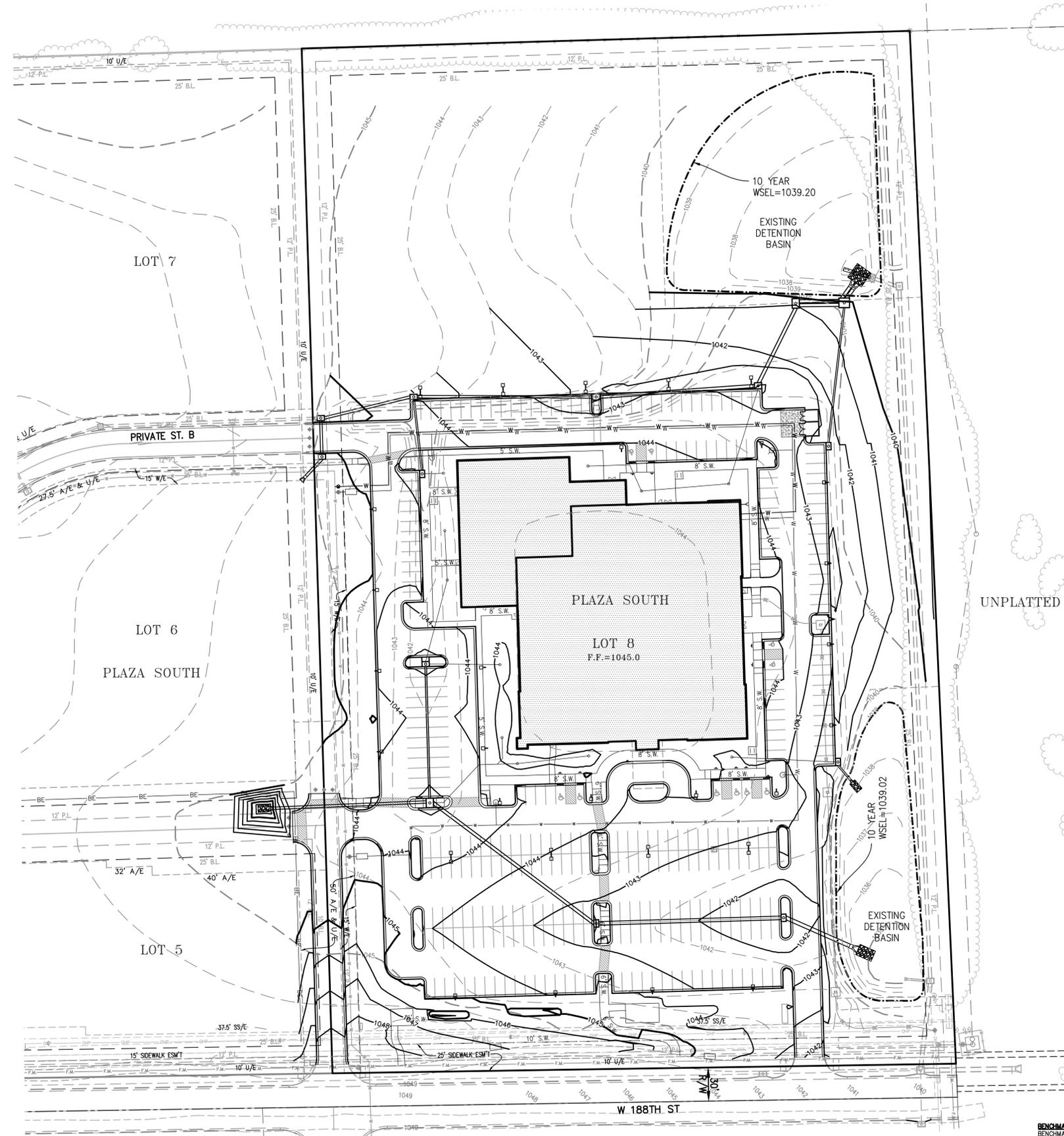
PLANNING
ENGINEERING
IMPLEMENTATION



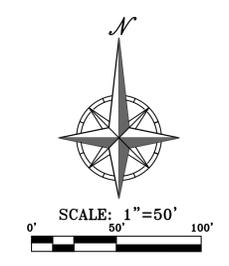
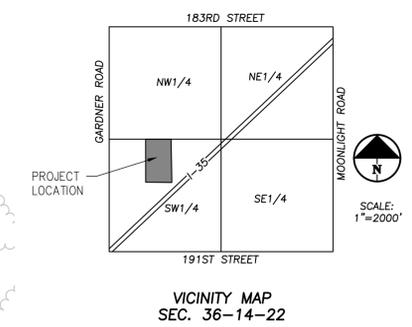
SITE DIMENSION PLAN NEW LIFE COMMUNITY CHURCH GARDNER, KANSAS FINAL DEVELOPMENT PLANS

| PROJECT NO. | 181177 | Date | 2-3-20 |
|------------------------------|---------------|---------------------------|---------|
| DATE: 1/10/20 | DRAWN: JMO | REVISED PER CITY COMMENTS | 2-11-20 |
| CHECKED: DEU | APPROVED: JMO | REVISED PER CITY COMMENTS | |
| CERTIFICATE OF AUTHORIZATION | | | |
| LAND SURVEYING - LS-82 | | | |
| ENGINEERING - E-391 | | | |
| CERTIFICATE OF AUTHORIZATION | | | |
| LAND SURVEYING - 2017001128 | | | |
| ENGINEERING - 2017001128 | | | |

V:\PHELPS-SEWER\Projects\181177\Map\Final Dev\SITE PLANNING Layout2 Feb 14, 2020 - 11:41am Aaron Norris



NOTE:
 EXISTING CONTOURS SHOWN ARE A COMBINATION OF JOHNSON COUNTY AIM'S AND PLANNED ELEVATIONS PER MASS GRADING BY PLAZA SOUTH DEVELOPER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.



BENCHMARK: VERTICAL DATUM = NAVD88 BASED ON JOHNSON COUNTY VERTICAL DATUM JOHNSON COUNTY BENCHMARK NETWORK BERNSTEIN ALUMINUM DISK STAMPED #1106 IN EAST END OF THE NORTH HEADWALL OF RCB ON NORTH SIDE OF 191ST STREET. ELEVATION = 1025.79

A. FOUND "C" CUT IN CENTER OF FRONT FACE OF CURB INLET ON EAST SIDE OF GARDNER ROAD AT MIDDLE OF PHILLIPS 66.
 ELEVATION = 1044.12

B. SET "C" CUT ON NORTHWEST CORNER OF CONCRETE PAD FOR ELECTRIC TRANSFORMER PAD AT NORTHEAST CORNER OF GROUNDHOUSE COFFEE.
 ELEVATION = 1046.77

C. SET RAILROAD SPIKE WEST SIDE OF 5TH POWER POLE EAST OF GARDNER ROAD MIDDLE OF SOUTH PROPERTY.
 ELEVATION = 1050.08

D. SET RAILROAD SPIKE WEST SIDE OF 8TH POWER POLE EAST OF GARDNER ROAD SOUTHEAST CORNER OF PROPERTY.
 ELEVATION = 1041.94

FLOOD NOTE:
 THIS PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF GARDNER, COMMUNITY NO. 200164, JOHNSON COUNTY, KANSAS, MAP NO. 20091C0120G, AND DATED AUGUST 3, 2009.

UTILITY NOTES:
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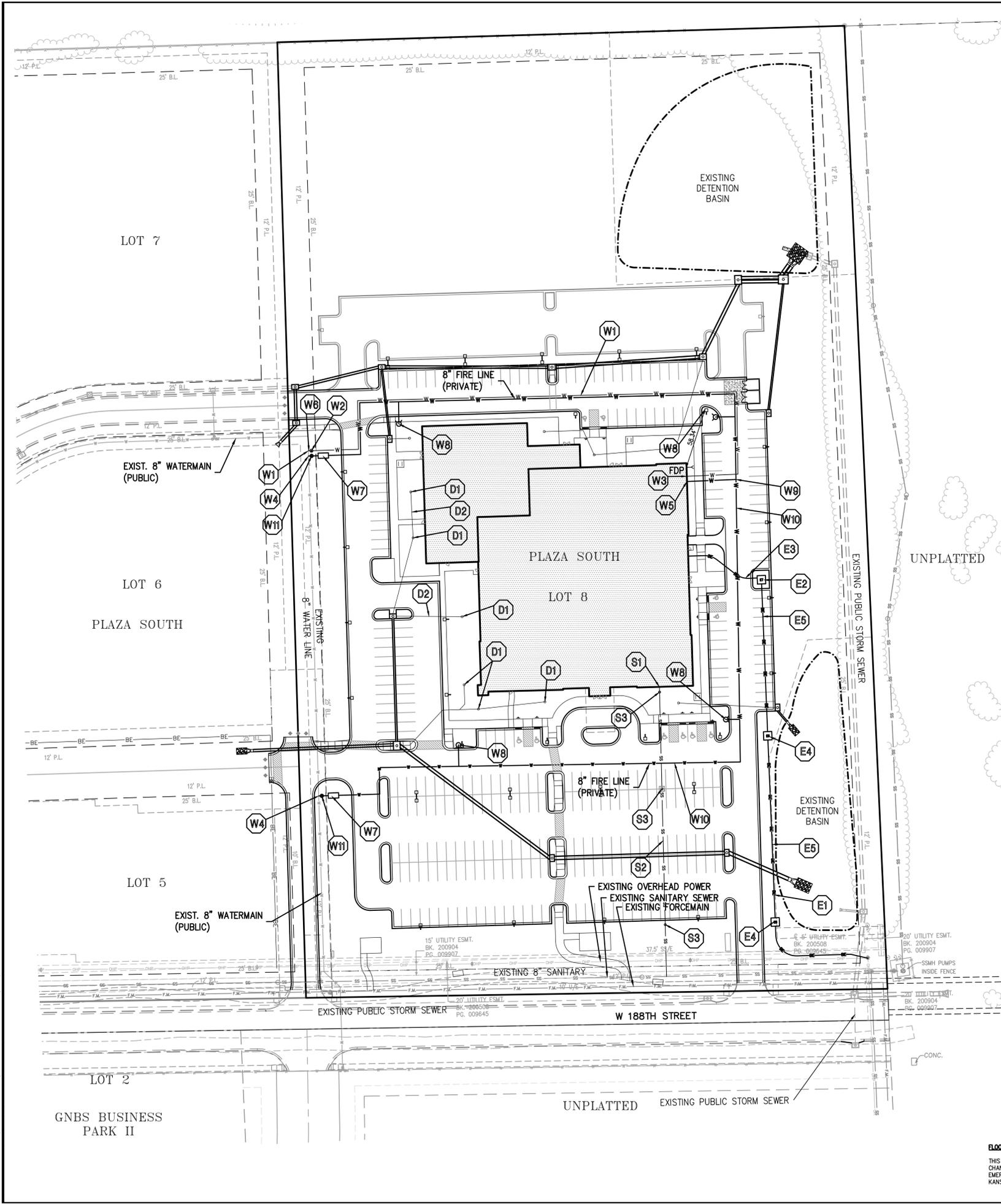
\PHILIPS-SERVER\Projects\181177\Map\Final Dev\GRADING PLAN.dwg Layout:1 Feb 14, 2020 - 11:41am Aaron Norris

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GRADING PLAN
NEW LIFE COMMUNITY CHURCH
GARDNER, KANSAS
 FINAL DEVELOPMENT PLANS

| PROJECT NO. | DATE | BY | APP. | REVISIONS: |
|-------------|---------|-----|------|---------------------------|
| 181177 | 2-3-20 | JMO | ALN | REVISED PER CITY COMMENTS |
| | 2-11-20 | JMO | ALN | REVISED PER CITY COMMENTS |



KEY NOTES:

- W1 CONTRACTOR TO PERFORM AND COORDINATE 8"x2" TAP FOR PROPOSED BUILDING DOMESTIC SERVICE. CONTRACTOR TO INSTALL 2" TYPE K COPPER FROM TAP TO METER. CONTACT GARDNER WATER FOR TAPPING REQUIREMENTS. OWNER WILL REIMBURSE CONTRACTOR FOR METER OR SYSTEM DEVELOPMENT FEES BY CITY OF GARDNER.
- W2 PROVIDE AND INSTALL 2" WATER METER IN PIT PER GARDNER WATER REQUIREMENTS. THERE SHALL BE 2' OF CLEARANCE AROUND PIT AND THE PIT SHALL BE INSTALLED IN GREENSPACE. COORDINATE WITH GARDNER WATER FOR MAIN TAP. OWNER SHALL PAY ALL FEES FOR TAP AND METER. ALL LABOR AND MATERIALS SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR'S PLUMBER IN ACCORDANCE WITH CITY OF GARDNER STANDARDS.
- W3 3" DOMESTIC WATERLINE ENTRY TO BUILDING. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ANY APPURTENANCES ON THE DOMESTIC LINE SUCH AS BACKFLOW PREVENTION DEVICES (USC APPROVED RP2) (RE: BUILDING PLANS), GATE VALVES, REDUCERS, BENDS, TEES, ETC., WHICH MAY BE REQUIRED. CONTRACT TO COORDINATE WITH WATER UTILITY.
- W4 CONTRACTOR TO EXPOSE WATER MAIN AND COORDINATE FOR CITY OF GARDNER TO INSTALL 8" X 6" TAPPING SLEEVE AND VALVE FOR PROPOSED COMBINATION BUILDING DOMESTIC AND FIRE LINE. TAPPING SLEEVE SHALL BE 5' MINIMUM FROM ANY FITTINGS FOUND IN EXCAVATION. CONTACT CITY OF GARDNER FOR REQUIREMENTS. CONTRACTOR TO PAY ALL FEES FOR WATER MAIN TAP. OWNER WILL REIMBURSE CONTRACTOR FOR FEES BY CITY OF GARDNER.
- W5 6" SPRINKLER ENTRY (RE: ARCH.) CONTRACTOR SHALL BE REQUIRED TO INSTALL ANY APPURTENANCES ON THE SPRINKLER LINE SUCH AS, BUT NOT LIMITED TO, A USC APPROVED DOUBLE CHECK VALVE BACKFLOW PREVENTION ASSEMBLY, GATE VALVES, REDUCERS, BENDS, TEES, ETC., MEETING CITY FIRE DEPT. AND WATER DEPT. CRITERIA.
- W6 CONTRACTOR INSTALL 2" TYPE K COPPER DOMESTIC SERVICE LINE FROM COMBINATION LINE TAP TO WATER METER. SERVICE LINE SHALL RUN PERPENDICULAR TO COMBINATION LINE WITH NO FITTINGS BETWEEN THE TAP AND THE METER SETTER.
- W7 INSTALL BACK FLOW PREVENTION DEVICE (DOUBLE CHECK) IN VAULT ON PROPOSED 8" WATER LINE
- W8 INSTALL PRIVATE RED FIRE HYDRANT ASSEMBLY
- W9 INSTALL 8"x6" TEE
- W10 INSTALL 8" PVC (C-900)
- W11 INSTALL 8" GATE VALVE
- E1 INSTALL 4" PVC CONDUIT FROM EXISTING POWER POLE TO TRANSFORMER
- E2 PROPOSED LOCATION OF CONCRETE TRANSFORMER PAD. CONTRACTOR TO VERIFY EXACT LOCATION AND SIZE WITH GARDNER ELECTRIC PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND COST OF CONCRETE PAD AND CONDUIT AS REQUIRED BY THE ELECTRIC COMPANY. CONTRACTOR SHALL COORDINATE SAID WORK WITH THE ELECTRIC COMPANY.
- E3 INSTALL 4" PVC CONDUIT FOR SECONDARY POWER TO BUILDING. CONTRACTOR IS RESPONSIBLE FOR THE COST AND INSTALLATION OF THE SERVICE CABLES FROM THE TRANSFORMER TO THE SERVICE ENTRANCE.
- E4 PROPOSED LOCATION OF ELECTRIC CABINET. CONTRACTOR TO VERIFY EXACT LOCATION AND SIZE WITH GARDNER ELECTRIC PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF ELECTRIC CABINET AND CONDUIT AS REQUIRED BY THE ELECTRIC COMPANY. CONTRACTOR SHALL COORDINATE SAID WORK WITH THE ELECTRIC COMPANY.
- E5 CONTRACTOR TO INSTALL 4" PVC (SCHEDULE 40) CONDUIT (HERITAGE PLASTICS OR CANTEX) FROM POLE TO THE CABINET AND TO THE TRANSFORMER (42"-48" DEPTH) CONTRACTOR TO COORDINATE WITH CITY OF GARDNER FOR ACCEPTANCE INSPECTION.
- S1 6" SANITARY SERVICE EXIT FROM BUILDING
- S2 CONTRACTOR TO INSTALL 6" PVC (SDR-26) W/RUBBER GASKETED JOINTS SANITARY SERVICE LINE & CONNECT TO EXISTING SANITARY SEWER MAIN.
- D1 INSTALL 18" NYLOPLAST DRAIN BASIN
- D2 TYPICAL STORM WATER DRAIN LINE FORM ROOF DRAINS TO STORM SEWER. (SEE ARCH. PLANS FOR BUILDING CONNECTION LOCATIONS)

UTILITY COMPANIES:

GARDNER ELECTRIC DISTRIBUTION MANAGER
 MR. BRUCE BALDWIN (BBALDWIN@GARDNERKANSAS.GOV)
 1450 E SANTA FE STREET
 GARDNER, KANSAS 66303 (913) 856-0985 (EXT. 2985)

KANSAS GAS SERVICE CO.
 MR. DAVID TEEFEY (DAVID.TEEFEY@onegas.com)
 11401 W. 89TH ST.
 OVERLAND PARK, KANSAS 66214 (913) 599-8933

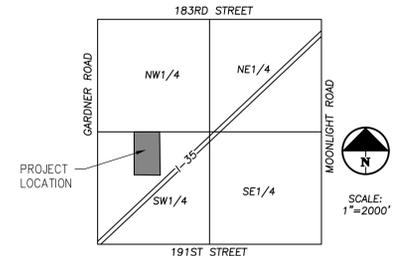
TIME WARNER CABLE (SPECTRUM)
 MR. STEVEN BAXTER (steven.baxter@charter.com)
 8221 W. 119TH STREET
 OVERLAND PARK, KANSAS 66213 (913) 643-1901 (913) 451-7652 FAX

CITY OF GARDNER
 SANITARY SEWER & WATER UTILITIES DEPARTMENT 913-856-0980

KANSAS FIBER NET
 BRAD BURGER 913-213-2937

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VICINITY MAP
 SEC. 36-14-22

EXISTING LEGEND

- SS SANITARY SEWER
- STM STORM SEWER
- BT BURIED TELEPHONE
- FO FIBER OPTIC LINE
- G GAS LINE
- BE BURIED ELECTRIC LINE
- OHP OVERHEAD POWER LINE
- SAN. MH SANITARY SEWER MANHOLE
- SS ST. STREET SIGN
- STLB ST. STREET LIGHT BOX
- STM MH STORM SEWER MANHOLE
- TCB TRAFFIC CONTROL BOX
- TR TELEPHONE RISER
- TVR TELEVISION RISER
- TSL TRAFFIC SIGNAL LIGHT
- TSLB TRAFFIC SIGNAL LIGHT BOX
- WV WATER VALVE
- BTM BURIED TELEPHONE MARKER
- EM ELECTRIC METER
- ER ELECTRIC RISER
- GH GUY ANCHOR
- GP GUARD POST
- GM GAS METER
- GV GAS VALVE
- LP LIGHT POLE
- PP POWER POLE

PROPOSED LEGEND

- SS SANITARY SEWER LINE
- STM STORM SEWER LINE
- BT BURIED TELEPHONE LINE
- W WATER LINE
- BE BURIED ELECTRIC LINE



Know what's below.
 Call before you dig.

UTILITY NOTES:
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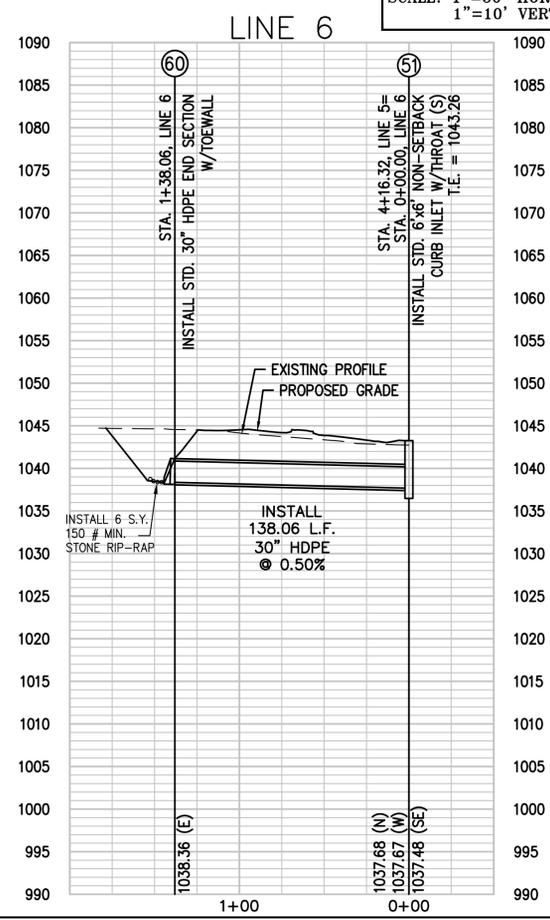
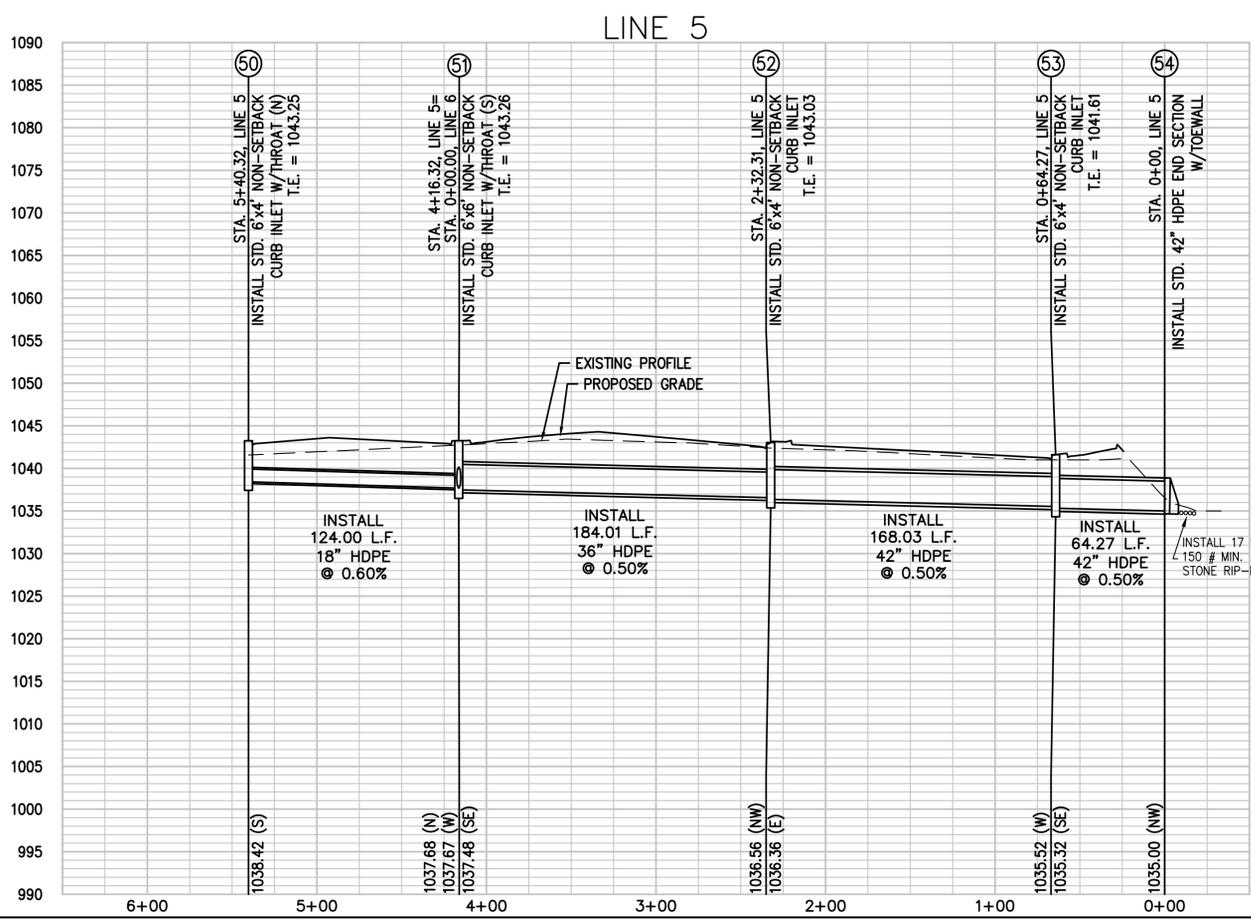
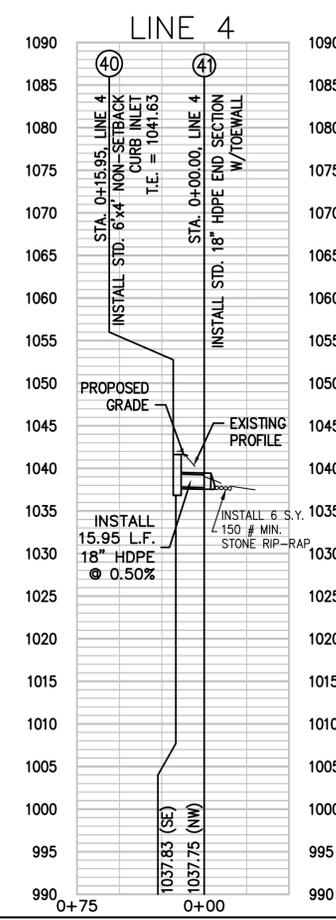
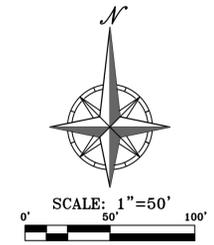
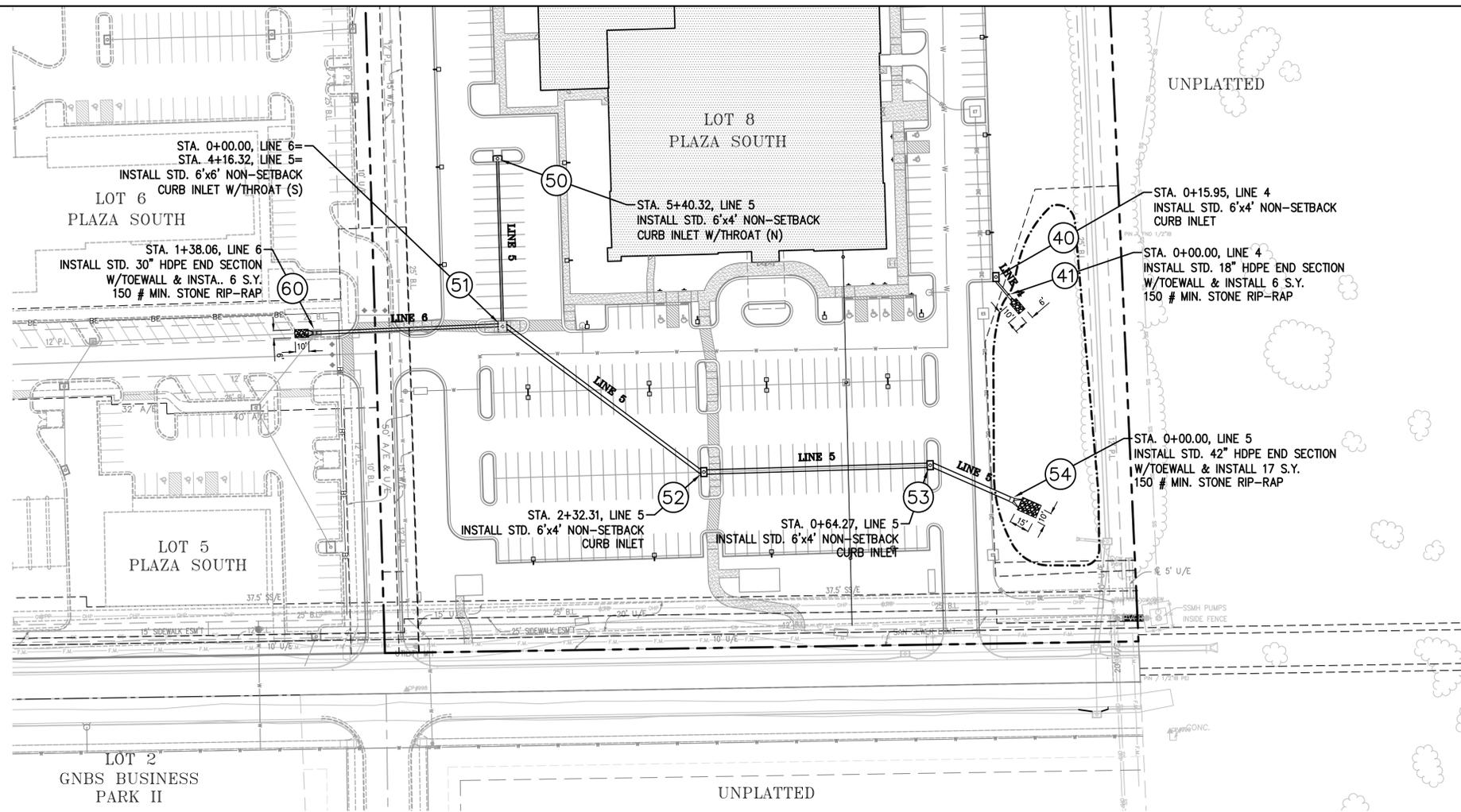
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UTILITY PLAN
 NEW LIFE COMMUNITY CHURCH
 GARDNER, KANSAS
 FINAL DEVELOPMENT PLANS

| PROJECT NO. | DATE | BY | APP. | REVISIONS: |
|-------------|---------|-----|------|------------------------------|
| 181177 | 1/10/20 | JMO | JMO | 1. DRAWING |
| | 2-3-20 | JMO | JMO | 2. REVISED PER CITY COMMENTS |
| | 2-11-20 | JMO | JMO | 3. REVISED PER CITY COMMENTS |



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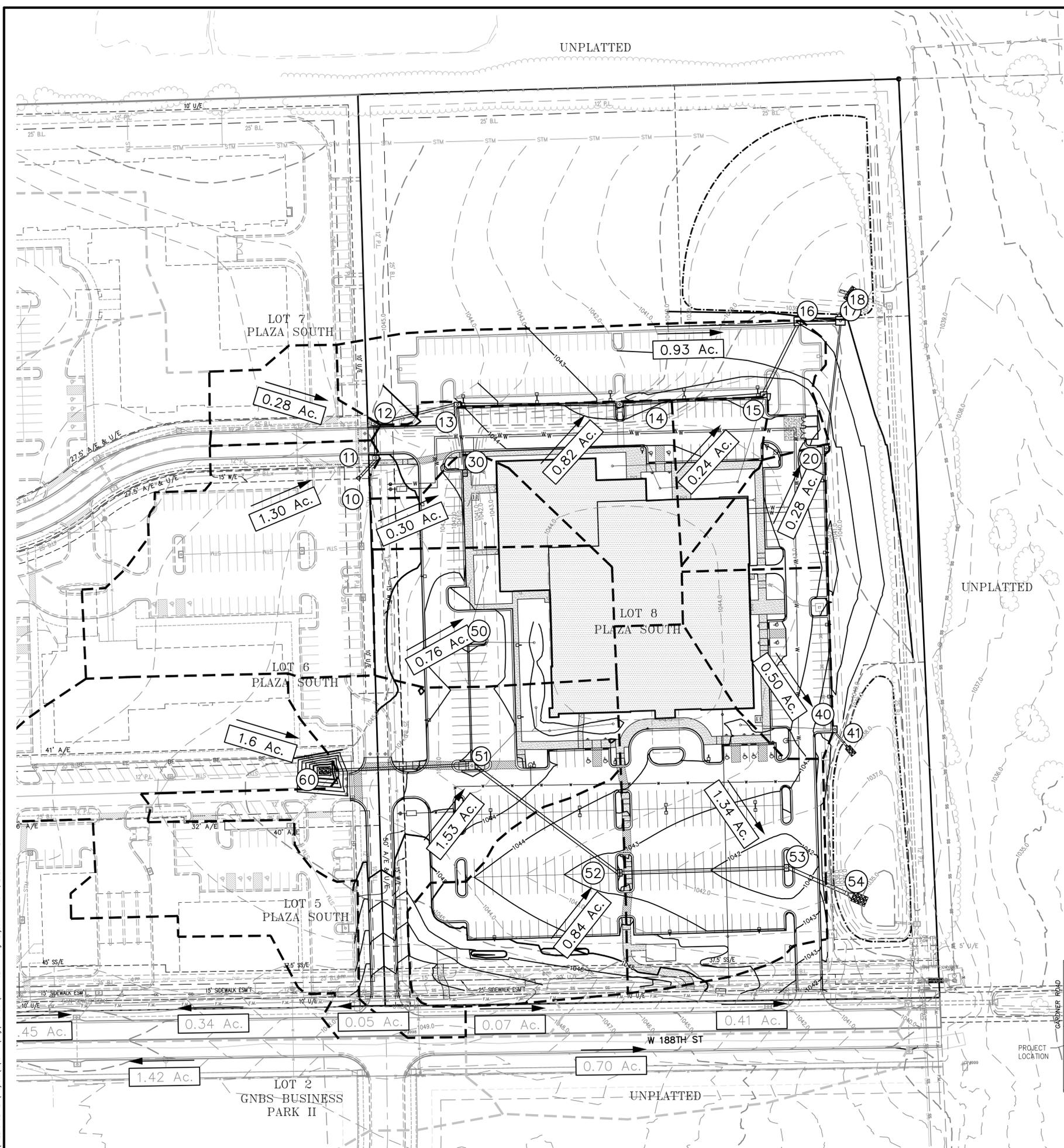
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STORM SEWER PLAN & PROFILE
NEW LIFE COMMUNITY CHURCH
GARDNER, KANSAS
FINAL DEVELOPMENT PLANS

| PROJECT NO. | 181177 | DATE | 1/10/20 | DRAWN BY | JMO | CHECKED BY | DEU | APPROVED BY | DATE | REVISIONS |
|-------------|---------|---------------------------|---------|----------|-----|------------|-----|-------------|------|-----------|
| 1 | 2-3-20 | REVISED PER CITY COMMENTS | JMO | ALN | | | | | | |
| 2 | 2-11-20 | REVISED PER CITY COMMENTS | JMO | ALN | | | | | | |

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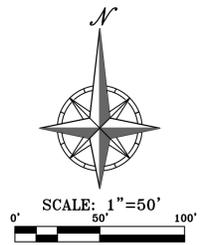
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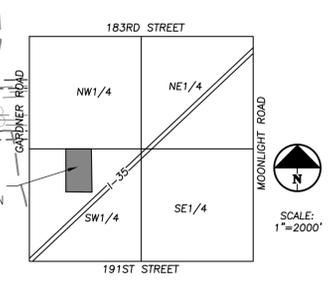
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- LEGEND**
- XXX---
 - XXX---
 - XXX---
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 -
 - X.XX Ac.
 - ⊗
- EXISTING CONTOURS
 - PROPOSED CONTOURS
 - DENOTES DRAINAGE AREA
 - DENOTES FLOW DIRECTION
 - DENOTES DRAINAGE AREA TO STRUCTURE
 - DENOTES STRUCTURE NUMBER



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DRAINAGE MAP
NEW LIFE COMMUNITY CHURCH
GARDNER, KANSAS
FINAL DEVELOPMENT PLANS

| PROJECT NO. | 181177 | Date | By | App. |
|------------------------------|---------------|---------|-----|------|
| DATE DRAWN | 1/10/20 | 2-3-20 | JMO | JMO |
| CHECKED DEU | APPROVED: JMO | 2-11-20 | JMO | JMO |
| CERTIFICATE OF AUTHORIZATION | | | | |
| LAND SURVEYING - LS-82 | | | | |
| ENGINEERING - E-361 | | | | |
| CERTIFICATE OF AUTHORIZATION | | | | |
| LAND SURVEYING - LS-82 | | | | |
| ENGINEERING - E-361 | | | | |
| CERTIFICATE OF AUTHORIZATION | | | | |
| LAND SURVEYING - LS-82 | | | | |
| ENGINEERING - E-361 | | | | |

STORM DRAINAGE CALCULATIONS

| DESIGN CRITERIA: K25 = 1.1; K100 = 1.25; n = 0.013 (RCP); STORM FREQUENCY = 100 YEAR; A.I. = AREA INLET; J.B. = JUNCTION BOX; C.I. = CURB INLET; C.C. = CURB CUT; G.I. = GRATE INLET; HEIGHT OF STRUCTURE = RIM ELEV MINUS FLOWLINE OUT. | | | | | | | | | | | | | | | | | | | | | | | | | | |
|--|---|------------------------|------------------|-------|------------------|-------|--|---------------------------|--|--|---|-----------------------------|----------------------------------|--------------------------|-------------------|-----------------|---------------------------|-----------------------------|-------------------|--------------------------------|------------------------------------|---------|------------------------------|-------------------------------|--------------------------------|--|
| N U M B E R | S T R U C T U R E | I. RUNOFF | | | | | | | III. PIPE DESIGN | | | | | | | | | | | | | REMARKS | | | | |
| | | INCREMENTAL | | | CUMULATIVE | | | | RAINFALL INTENSITY "I" ₂ AT STRUCTURE (IN/HR) | ANTECEDENT PRECIPITATION FACTOR "K" ₂₅ / "K" ₁₀₀ | RUNOFF "Q" ₂₅ / "Q" ₁₀₀ (CFS) | STRUCTURE | | PIPE | | | | | | | | | | | | |
| | | RUNOFF COEFFICIENT "C" | AREA "A" (ACRES) | C x A | AREA "A" (ACRES) | C x A | SYSTEM TIME OF CONCENTRATION "T" _c AT STRUCTURE (MIN) | Upstream Structure Number | | | | Downstream Structure Number | Upstream Structure Rim Elevation | Height of Structure (FT) | Diameter "D" (IN) | Length "L" (FT) | Upstream Invert Elevation | Downstream Invert Elevation | Slope "S" (FT/FT) | Travel Time in Pipe "TT" (min) | Velocity Full V _f (FPS) | | Runoff Q ₂₅ (CFS) | Runoff Q ₁₀₀ (CFS) | Full Flow Q _f (CFS) | |
| 1 | 10 | 0.81 | 1.30 | 1.05 | 1.30 | 1.05 | 5.00 | 8.53 | 1.10 | 9.9 | 10 | 11 | 1045.00 | 3.89 | 24 | 22.23 | 1041.11 | 1041.00 | 0.0049 | 0.07 | 5.1 | 9.9 | 13.5 | 15.9 | | |
| | | | | | | | | 10.32 | 1.25 | 13.5 | | | | | | | | | | | | | | | | |
| | | 0.81 | 0.00 | 0.00 | 1.30 | 1.05 | 5.07 | 8.50 | 1.10 | 9.8 | 11 | 12 | 1045.00 | 4.50 | 24 | 34.50 | 1040.50 | 1040.33 | 0.0049 | 0.11 | 5.1 | 9.8 | 13.5 | 15.9 | | |
| | | | | | | | | 10.29 | 1.25 | 13.5 | | | | | | | | | | | | | | | | |
| | 12 | 0.81 | 0.28 | 0.23 | 1.58 | 1.28 | 5.19 | 8.46 | 1.10 | 11.9 | 12 | 13 | 1045.00 | 5.17 | 24 | 85.49 | 1039.83 | 1039.40 | 0.0050 | 0.28 | 5.1 | 11.9 | 16.4 | 16.0 | | |
| | | | | | | | | 10.25 | 1.25 | 16.4 | | | | | | | | | | | | | | | | |
| | 13 | 0.81 | 0.00 | 0.00 | 1.58 | 1.52 | 5.46 | 8.37 | 1.10 | 14.0 | 13 | 14 | 1044.37 | 5.34 | 30 | 156.00 | 1039.03 | 1038.25 | 0.0050 | 0.44 | 5.9 | 14.0 | 19.3 | 29.0 | Add Line 3 | |
| | | | | | | | | 10.13 | 1.25 | 19.3 | | | | | | | | | | | | | | | | |
| | 14 | 0.81 | 0.82 | 0.66 | 2.40 | 2.18 | 5.90 | 8.22 | 1.10 | 19.7 | 14 | 15 | 1043.21 | 5.16 | 30 | 153.00 | 1038.05 | 1037.29 | 0.0050 | 0.43 | 5.9 | 19.7 | 27.1 | 28.9 | | |
| | | | | | | | | 9.96 | 1.25 | 27.1 | | | | | | | | | | | | | | | | |
| 15 | 0.81 | 0.24 | 0.19 | 2.64 | 2.37 | 6.33 | 8.08 | 1.10 | 21.1 | 15 | 16 | 1043.00 | 5.91 | 30 | 79.61 | 1037.09 | 1036.69 | 0.0050 | 0.22 | 5.9 | 21.1 | 29.0 | 29.1 | | | |
| | | | | | | | 9.80 | 1.25 | 29.0 | | | | | | | | | | | | | | | | | |
| 16 | 0.81 | 0.93 | 0.75 | 3.57 | 3.12 | 6.56 | 8.01 | 1.10 | 27.5 | 16 | 17 | 1040.16 | 3.67 | 36 | 43.39 | 1036.49 | 1036.27 | 0.0051 | 0.11 | 6.7 | 27.5 | 37.9 | 47.5 | 2-30" | | |
| | | | | | | | 9.71 | 1.25 | 37.9 | | | | | | | | | | | | | | | | | |
| 17 | 0.81 | 0.00 | 0.00 | 3.57 | 3.35 | 6.66 | 7.97 | 1.10 | 29.4 | 17 | 18 | 1039.39 | 3.32 | 36 | 14.39 | 1036.07 | 1036.00 | 0.0049 | 0.04 | 6.6 | 29.4 | 40.5 | 46.5 | 2-30" | | |
| | | | | | | | 9.67 | 1.25 | 40.5 | | | | | | | | | | | | | | | | Add Line 2 | |
| 2 | 20 | 0.81 | 0.28 | 0.23 | 0.28 | 0.23 | 5.00 | 8.53 | 1.10 | 2.2 | 20 | 17 | 1043.00 | 6.07 | 15 | 121.88 | 1036.93 | 1036.32 | 0.0050 | 0.54 | 3.8 | 2.2 | 3.0 | 4.6 | | |
| | | | | | | | | 10.32 | 1.25 | 3.0 | | | | | | | | | | | | | | | | |
| 3 | 30 | 0.81 | 0.30 | 0.24 | 0.30 | 0.24 | 5.00 | 8.53 | 1.10 | 2.3 | 30 | 13 | 1044.00 | 4.00 | 15 | 69.22 | 1040.00 | 1039.65 | 0.0051 | 0.31 | 3.8 | 2.3 | 3.1 | 4.6 | | |
| | | | | | | | | 10.32 | 1.25 | 3.1 | | | | | | | | | | | | | | | | |
| 4 | 40 | 0.81 | 0.50 | 0.41 | 0.50 | 0.41 | 5.00 | 8.53 | 1.10 | 3.8 | 40 | 41 | 1041.79 | 3.96 | 18 | 15.95 | 1037.83 | 1037.75 | 0.0050 | 0.06 | 4.2 | 3.8 | 5.3 | 7.4 | | |
| | | | | | | | | 10.32 | 1.25 | 5.3 | | | | | | | | | | | | | | | | |
| 5 | 50 | 0.81 | 0.76 | 0.62 | 0.76 | 0.62 | 5.00 | 8.53 | 1.10 | 5.8 | 50 | 51 | 1043.10 | 4.67 | 18 | 124.00 | 1038.43 | 1037.68 | 0.0060 | 0.44 | 4.7 | 5.8 | 8.0 | 8.2 | | |
| | | | | | | | | 10.32 | 1.25 | 8.0 | | | | | | | | | | | | | | | | |
| | 51 | 0.81 | 3.14 | 2.54 | 3.90 | 3.16 | 5.44 | 8.37 | 1.10 | 29.1 | 51 | 52 | 1043.00 | 5.52 | 36 | 184.01 | 1037.48 | 1036.56 | 0.0050 | 0.46 | 6.7 | 29.1 | 40.1 | 47.2 | | |
| | | | | | | | | 10.14 | 1.25 | 40.1 | | | | | | | | | | | | | | | | |
| | 52 | 0.81 | 0.84 | 0.68 | 4.74 | 3.84 | 5.90 | 8.22 | 1.10 | 34.7 | 52 | 53 | 1042.60 | 6.24 | 42 | 168.03 | 1036.36 | 1035.52 | 0.0050 | 0.38 | 7.4 | 34.7 | 47.8 | 71.1 | | |
| | | | | | | | 9.96 | 1.25 | 47.8 | | | | | | | | | | | | | | | | | |
| 53 | 0.81 | 1.34 | 1.09 | 6.08 | 4.93 | 6.28 | 8.09 | 1.10 | 43.9 | 53 | 54 | 1042.00 | 6.68 | 42 | 64.45 | 1035.32 | 1035.00 | 0.0050 | 0.15 | 7.4 | 43.9 | 60.5 | 70.9 | | | |
| | | | | | | | 9.82 | 1.25 | 60.5 | | | | | | | | | | | | | | | | | |
| 6 | 60 | 0.81 | 1.61 | 1.30 | 1.61 | 1.30 | 5.00 | 8.53 | 1.10 | 12.2 | 60 | 51 | 1041.79 | 3.42 | 30 | 138.07 | 1038.37 | 1037.68 | 0.0050 | 0.39 | 5.9 | 12.2 | 16.8 | 29.0 | | |
| | | | | | | | | 10.32 | 1.25 | 16.8 | | | | | | | | | | | | | | | | |



DRAINAGE CALCULATIONS
NEW LIFE COMMUNITY CHURCH
GARDNER, KANSAS
FINAL DEVELOPMENT PLANS

| | | | |
|----------------------------|---------|-----|------|
| PROJECT NO. 181177 | Date | By | App. |
| DATE: 1/10/20 | 2-3-20 | JMO | ALN |
| CHECKED: DEU | 2-11-20 | JMO | ALN |
| CORRECTED: DEU | | | |
| DATE OF AUTHORIZATION | | | |
| LAND SURVEYING - LS-82 | | | |
| ENGINEERING - E-361 | | | |
| DATE OF AUTHORIZATION | | | |
| LAND SURVEYING - 007001128 | | | |
| ENGINEERING - 260000268 | | | |

UNPLATTED

N88°20'55"E
545.56'

LOT 7

EXISTING
DETENTION
BASIN

TRASH
ENCLOSURE

PRIVATE STREET B

PLAZA SOUTH
LOT 8
PROPOSED
2-STORY
BUILDING

PROPOSED
PORTE-COCHERE

UNPLATTED

LOT 6

PLAZA SOUTH

LOT 5

PICNIC TABLE
W/SHELTER

PARK BENCH

PICNIC TABLE
W/SHELTER

PARK BENCH

EXISTING
DETENTION
BASIN

37.5' SS/E

15' SIDEWALK ESM'T

10' U/E

25' SIDEWALK ESM'T

10' U/E

559.20'

S89°07'03"W

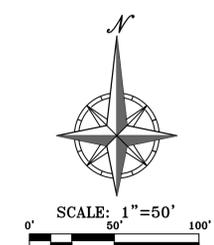
W 188TH ST

PARK BENCH

LOT 2

GNBS BUSINESS
PARK II

UNPLATTED



PHELPS ENGINEERING, INC
1270 N. Winchester
Olathe, Kansas 66066
(913) 993-1155
Fax (913) 993-1166
www.phelpsengineering.com

PLANNING
ENGINEERING
IMPLEMENTATION



TRUCK MOVEMENT
NEW LIFE COMMUNITY CHURCH
GARDNER, KANSAS
FINAL DEVELOPMENT PLANS

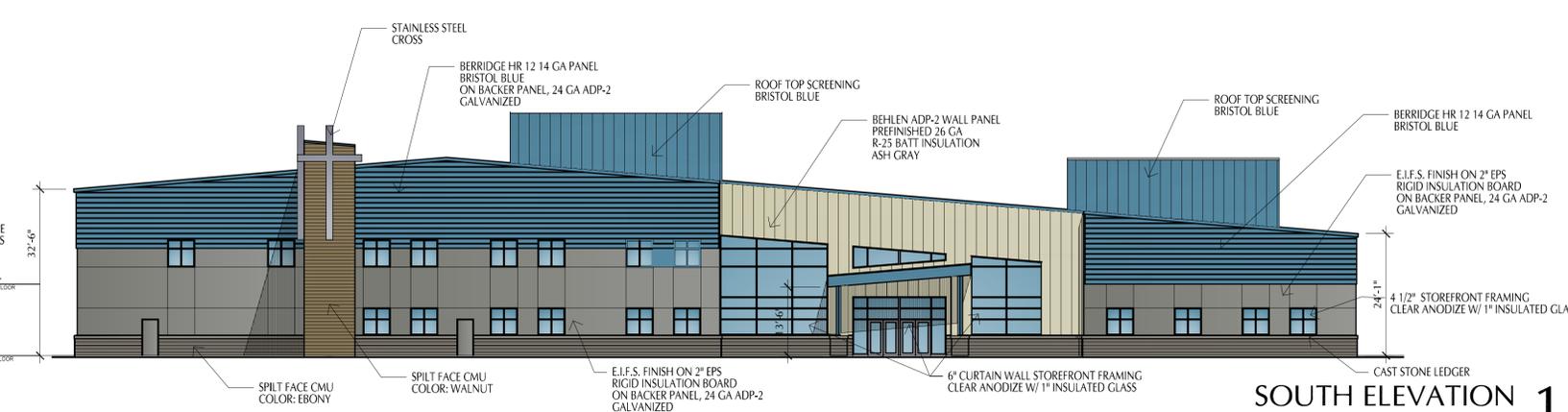
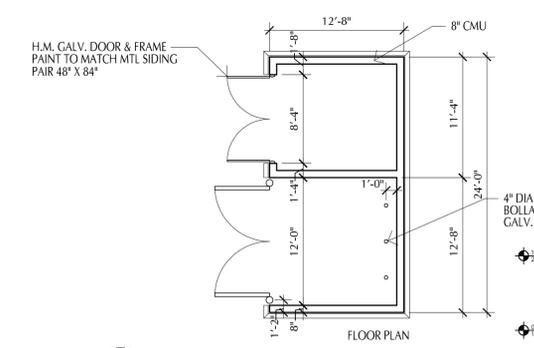
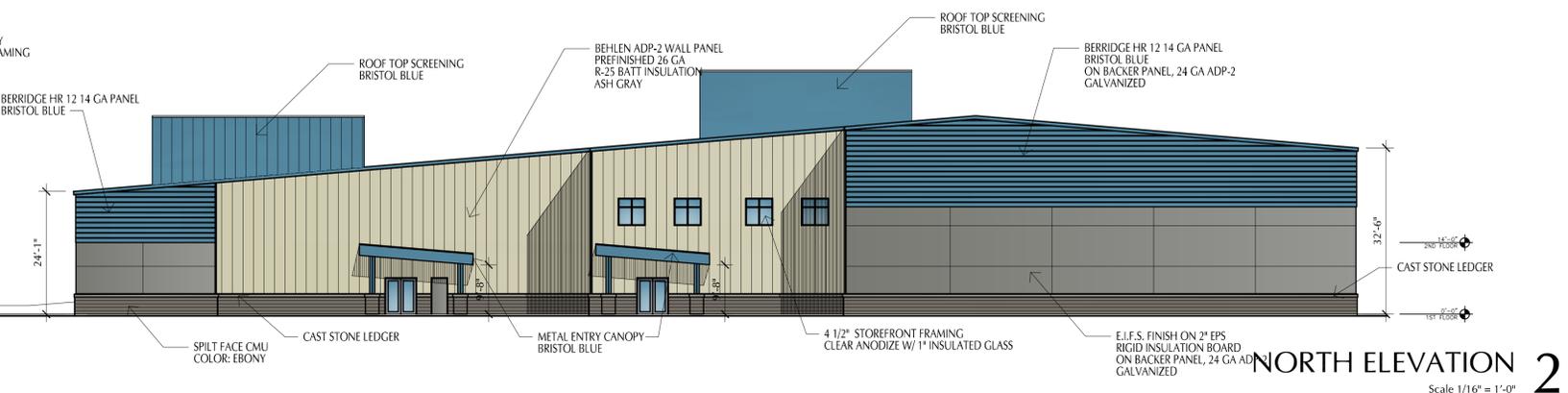
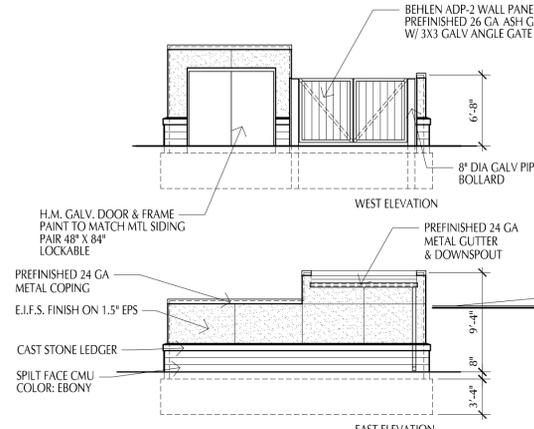
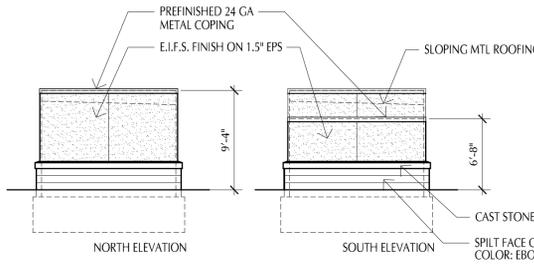
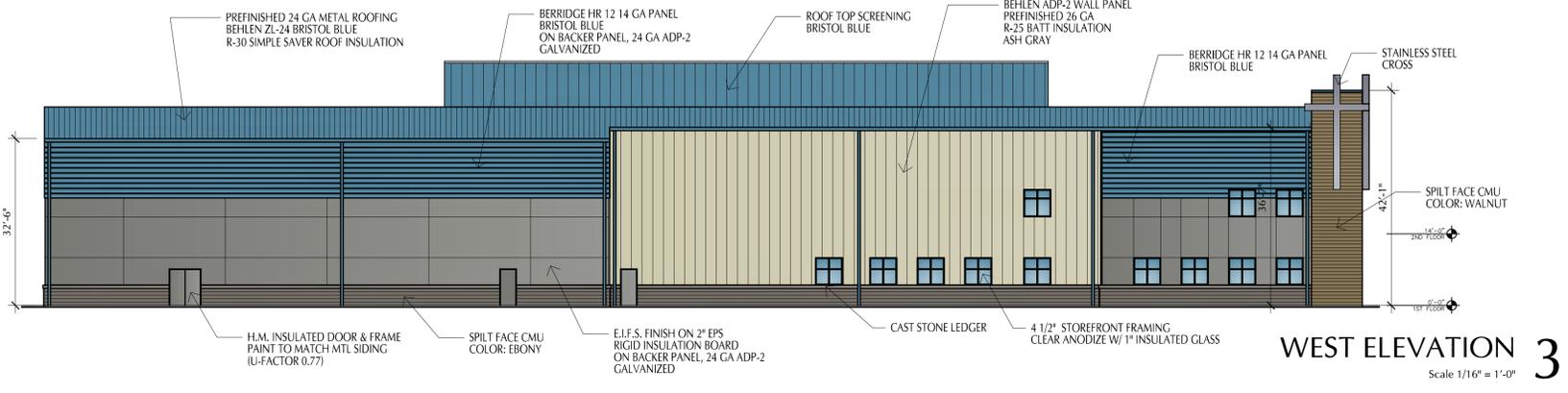
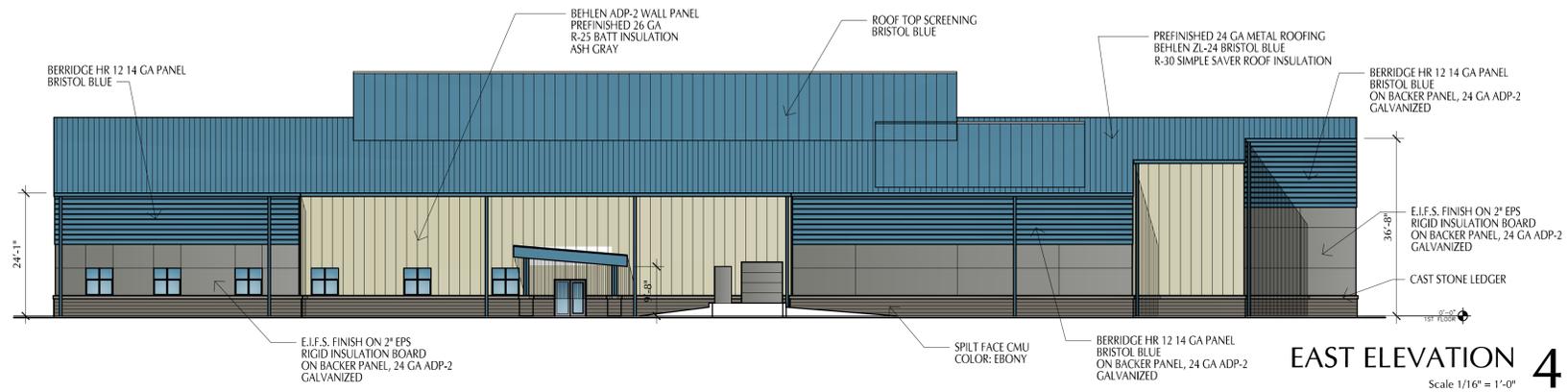
| PROJECT NO. | 181177 | Date | Revisions: | By | App. |
|------------------------------|------------|------|---------------------------|-----|------|
| DATE: 1/10/20 | DRAWN: JMO | 1 | REVISED PER CITY COMMENTS | JMO | ALN |
| CHECKER: DEU | APPROVED: | 2 | REVISED PER CITY COMMENTS | JMO | ALN |
| CERTIFICATE OF AUTHORIZATION | | | | | |
| LAND SURVEYING - LS-82 | | | | | |
| ENGINEERING - E-391 | | | | | |
| CERTIFICATE OF AUTHORIZATION | | | | | |
| LAND SURVEYING - 2020010128 | | | | | |
| ENGINEERING - 20030258 | | | | | |

SHEET

10

OF 10

Feb 14, 2020 - 11:46am - USER christ T:\Rose\Drawings-Current\17043 New Life Community Church\Production\Construction\A3.0 BUILDING ELEVATIONS.dwg
 T:\Rose\Drawings-Current\17043 New Life Community Church\Production\Construction\A3.0 BUILDING ELEVATIONS.dwg
 COMPANIAL - PROPRIETARY: THE DOCUMENT IS THE PROPERTY OF ROSE DESIGN GROUP, INC. AND IS LOANED IN CONFIDENCE WITH THE UNDERSTANDING
 THAT IT IS NOT TO BE COPIED OR REPRODUCED WITHOUT THE EXPRESS WRITTEN PERMISSION OF ROSE DESIGN GROUP, INC. ALL PATENT RIGHTS ARE RESERVED.



BUILDING COLORS

CONTINENTAL CAST STONE
1101 GREY STONE

BEHLEN METAL WALL PANEL ADP-2
ASH GRAY

E.L.F.S. MEDIUM SAND FINISH
SW 7068 GRIZZLE GRAY

SPLIT FACE CMU BLOCK
MIDWEST BLOCK & BRICK
COLOR: EBONY

SPLIT FACE CMU BLOCK
MIDWEST BLOCK & BRICK
COLOR: WALNUT

STOREFRONT FRAMING
ANODIZED CLEAR ALUMINUM

BERRIDGE METAL PANEL HR-12
BRISTOL BLUE

HR-12 PANEL PROFILE

EXTERIOR GLAZING 1" INSULATED PPG
PACIFICA + SOLARBAN 60

BEHLEN Z24 METAL ROOF
24 GA BRISTOL BLUE

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 ROSE DESIGN GROUP, INC. DOES NOT REPRESENTATIVE OF ROSE DESIGN GROUP, INC. TO ACCEPT PROFESSIONAL RESPONSIBILITY AS REQUIRED BY THE PROFESSIONAL REGISTRATION LAWS OF THE STATE OR THE APPLICABLE STATE BOARD OF ARCHITECTURE. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND PROFESSIONAL LIABILITY INSURANCE. THE USER SHALL BE RESPONSIBLE FOR ALL OTHER DRAWINGS IN THE CONSTRUCTION DOCUMENT PACKAGE, NOT BEING THE RESPONSIBILITY OF ROSE DESIGN GROUP, INC. THESE DRAWINGS AND ANY OTHER ELEMENTS IN THE CONSTRUCTION DOCUMENT PACKAGE.

Christopher R. Bell
C. R. BELL
 LICENSED
 6167
 KANSAS
 PROFESSIONAL ARCHITECT

ROSE DESIGN GROUP INC.

ARCHITECTS ■ PLANNERS

A Division of Rose Design Build

913-782-0777 FAX: 913-782-0998
 P.O. BOX 100 OLATHE, KS 66051

KANSAS STATE CERTIFICATE OF AUTHORITY # A-83 www.BuiltWithRose.com

NEW LIFE COMMUNITY CHURCH

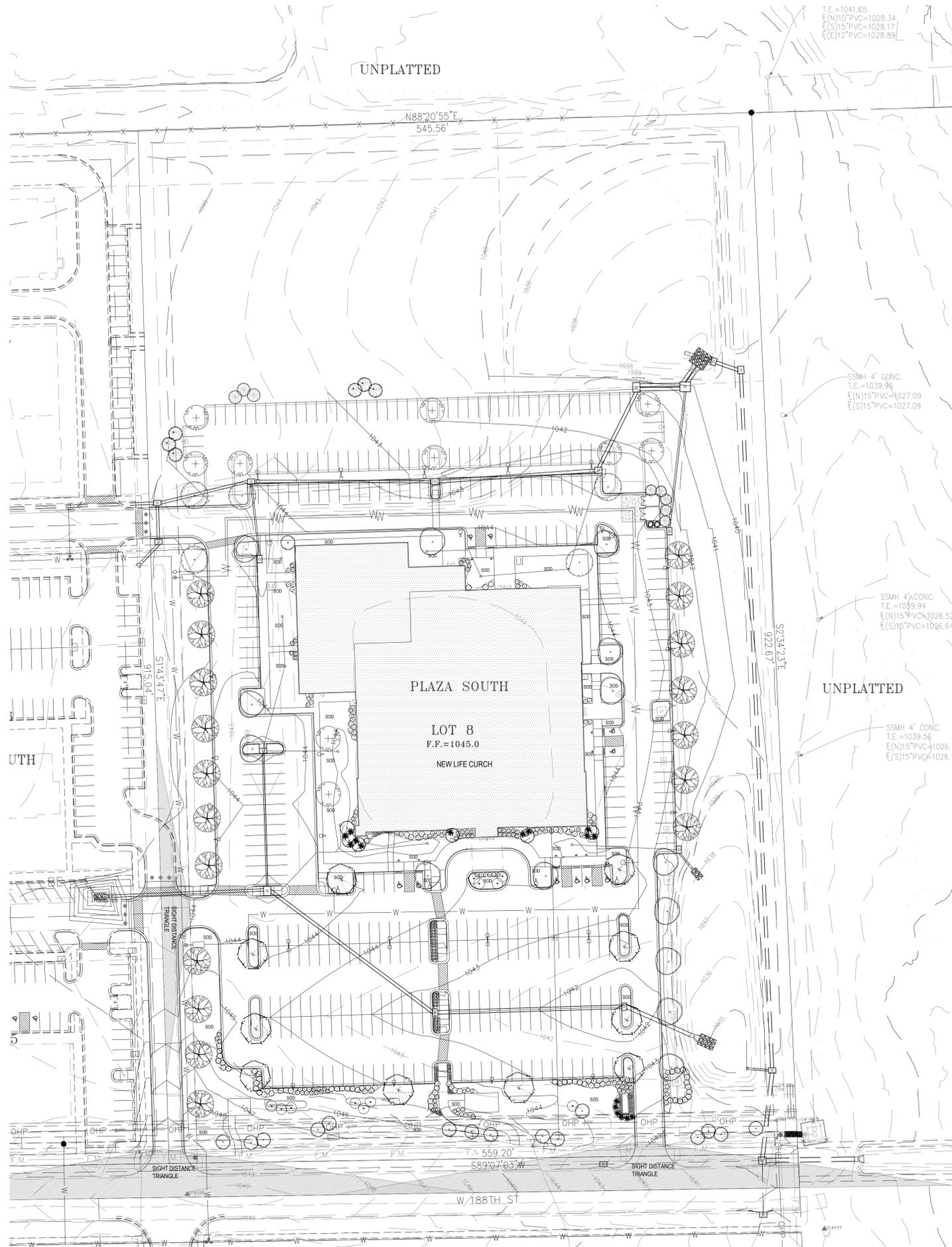
**NEW BUILDING FOR:
 NEW LIFE COMMUNITY CHURCH
 LOT 8 PLAZA SOUTH DEVELOPMENT
 GARDNER, JOHNSON COUNTY, KANSAS**

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
| | | |
| | | |
| | | |

PROJECT NUMBER 17043
 DATE ISSUED: 03 / 01 / 20

SHEET NUMBER
A3.0

BUILDING ELEVATIONS



T.E.=1041.65
 E(N)10°PVC=1028.34
 E(S)15°PVC=1028.17
 E(E)12°PVC=1028.89

SSMH 4" CONC.
 T.E.=1039.96
 E(N)15°PVC=1027.09
 E(S)15°PVC=1027.09

SSMH 4" CONC.
 T.E.=1039.94
 E(N)15°PVC=1026.52
 E(S)15°PVC=1026.64

SSMH 4" CONC.
 T.E.=1039.56
 E(N)15°PVC=1026.22
 E(S)15°PVC=1026.19

Planting Notes

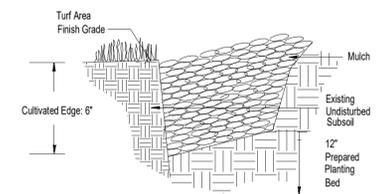
1. Location of all existing utilities needs to be done before commencing work.
2. The planting plan graphically illustrates overall plant massings. Each plant species massing shall be placed in the field to utilize the greatest coverage of ground plane. The following applies for individual plantings:
 - a. Creeping groundcover shall be a minimum of 6" from paving edge.
 - b. All trees shall be a minimum of 3' from paving edge.
 - c. All plants of the same species shall be equally spaced apart and placed for best aesthetic viewing.
 - d. All shrubs shall be a minimum of 2' from paved edge.
3. Mulch all planting bed areas to a minimum depth of 3". Mulch individual trees to a minimum depth of 4".
4. Note: If plants are not labeled - they are existing and shall remain.
5. In the event of work in or on a JCW sanitary main, any trees or plantings placed within the sewer easement may be removed without replacement or compensation there-of and shall be replaced by the property owner as required by the City.
6. All landscaped areas in ROW shall be sodded and irrigated unless otherwise specified.
7. Plant trees and shrubs 10' from the front and 3' from the sides of cabinet and transformer.
8. All electrical and mechanical equipment such as transformers, air conditioners, or communication equipment shall be screened from streets or adjacent lots.

Materials:

1. Plant material shall be healthy, vigorous, and free of disease and insects as per AAN standards.
2. Shredded bark mulch installed at trees shall be finely chipped and shredded hardwood chips, consisting of pure wood products and free of all other foreign substances. Fine bark compost mulch installed at planting bed areas shall be free of all other foreign substances.

Installation:

1. All planting beds shall be amended with 1 cubic yard of peat moss per 1,000 square feet. Till peat moss into soil to a 6" depth. A 10-10-10 fertilizer shall be spread over all planting areas prior to planting, at a rate of 50 pounds per 2,000 square feet.
2. After plants have been installed, all planting beds shall be treated with Dacthal pre-emergent herbicide prior to mulch application.
3. Plant pit backfill for trees and shrubs shall be 50% peat or well composted manure and 50% topsoil.
4. Plant material shall be maintained and guaranteed for a period of one year after Owner's acceptance of finished job. All dead or damaged plant material shall be replaced at Landscape Contractor's expense.
6. Landscape contractor shall maintain all plant material until final acceptance, at which point the one year guarantee begins.



2 CULTIVATED EDGE DETAIL

SCALE: NTS

Landscape Schedule

| Symbol | Qty. | % | Botanical Name | Common Name | Min.Root | Min.Size | Caliper | Remarks |
|---------------------------------|------|-----|-----------------------------------|-----------------------------|----------|----------------|---------|----------------------------|
| OVERSTORY TREES | | | | | | | | |
| | 10 | 14 | Gleditsia triacanthos 'Skyline' | Shademaster Honeylocust | 2" | 6' min. clear. | | ground to canopy |
| | 14 | | Quercus rubra | Northern Red Oak | 2" | 6' min. clear. | | ground to canopy |
| | 14 | 21 | Acer x freemanii 'Autumn Blaze' | Autumn Blaze Maple | 2" | 6' min. clear. | | ground to canopy |
| | 18 | 26 | Ulmus parvifolia | lacebark Elm | 2" | 6' min. clear. | | ground to canopy |
| | 17 | 25 | Acer x truncatum 'Warrenred' | Pacific Sunset Maple | 2" | 6' min. clear. | | ground to canopy |
| | 69 | 100 | TOTAL SHADE TREES ON SITE | | | | | |
| EVERGREEN TREES | | | | | | | | |
| | 5 | | Juniperus chinensis 'Keteleeri' | Keteleeri Juniper | 6" | 6' ht. | | symmetrical pyramidal form |
| | 3 | | Juniper chinensis | Eastern Red Cedar | 6" | 6' ht. | | symmetrical pyramidal form |
| | 6 | | Picea abies | Norway Spruce | 6" | 6' ht. | | symmetrical pyramidal form |
| | 14 | | TOTAL EVERGREEN TREES ON SITE | | | | | |
| ORNAMENTAL TREES | | | | | | | | |
| | 22 | | Cercis canadensis | Eastern Redbud | 1.5" | | | |
| | 11 | | Cornus florida 'Cloud Nine' | Cloud 9 Dogwood | 1.5" | | | |
| | 11 | | TOTAL ORNAMENTAL TREES ON SITE | | | | | |
| DECIDUOUS SHRUBS/GRASSES | | | | | | | | |
| | 95 | | Liriope muscari 'Variegated' | Variegated Liriope | 1 gal. | | | Plant @ 18" O.C. |
| | 7 | | Spiraea x bumalda 'Goldflame' | Goldflame spirea | 3 gal. | | | Plant @ 3' O.C. |
| | 57 | | Hydrangea paniculata 'Quick Fire' | Little Quick Fire Hydrangea | 3 gal. | | | Plant @ 4' O.C. |
| | 51 | | Syringa X 'Penda' | Blooming Purple Lilac | 5 gal. | | | Plant @ 5' O.C. |
| EVERGREEN SHRUBS | | | | | | | | |
| | 42 | | Juniperus chinensis 'Sea Green' | Sea Green Juniper | 3 gal. | | | Plant @ 4' O.C. |
| | 77 | | Juniperus chinensis 'Gold Coast' | Gold Coast Juniper | 3 gal. | | | Plant @ 4' O.C. |
| | 2 | | Juniperus chinensis 'Spartan' | Spartan Juniper | 5' ht. | | | Symmetrical pyramidal form |
| GROUNDCOVERS AND GRASSES | | | | | | | | |
| | 17 | | Juniperus horizontalis 'Wiltonii' | Blue Rug Juniper | 1 gal. | | | Plant @ 24" O.C. |
| | 56 | | Pennisetum alopecuroides 'Hameln' | Dwarf Fountain Grass | 1 qt. | | | Plant @ 18" O.C. |
| | 404 | | TOTAL SHRUBS/GRASSES ON SITE | | | | | |

TREE PLANTING NOTES:

- 1) DO NOT HEAVILY PRUNE THE TREE. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, & BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS & LATERAL BRANCHES MAY BE PRUNED. DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN
- 2) MARK THE NORTH SIDE OF THE TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE
- 3) SET TOP OF ROOT BALL 1-2 INCHES HIGHER THAN SURROUNDING GRADE
- 4) APPLY 4" THK WOOD MULCH. DO NOT PLACE MULCH IN DIRECT CONTACT w/ TREE TRUNK
- 5) EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL w/ SOIL
- 6) REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM THE UPPER 1/3 OF ROOT BALL (REMOVE WIRE BASKETS)
- 7) PLACE ALL ROOT BALLS ON UN-EXCAVATED OR TAMPED SOIL, TYP

STAKING REQUIREMENTS:

- 1) WIRE / CABLE SHALL BE GALV, 12-GAUGE
- 2) TIGHTEN WIRE / CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE SHALL BE LONG ENOUGH TO ACCOMMODATE 1 1/2" OF GROWTH
- 3) STAKES SHALL BE 2"x 2" HARDWOOD OR EQUAL

PERENNIAL PLANTING NOTES:

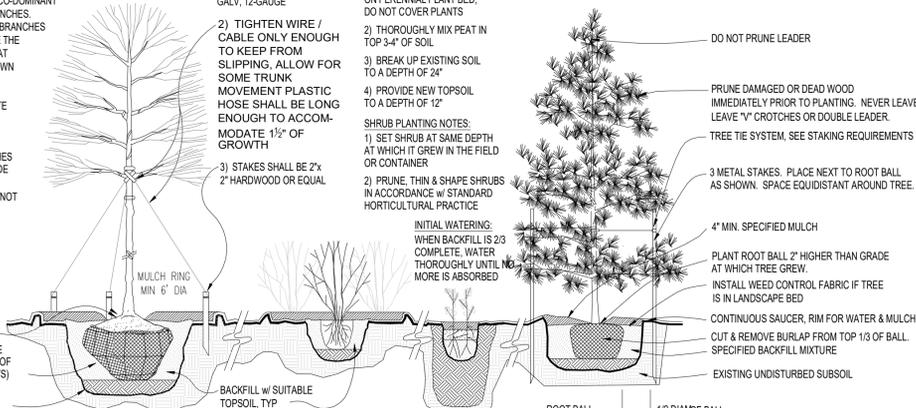
- 1) APPLY 2" THK BED OF MULCH ON PERENNIAL PLANT BED. DO NOT COVER PLANTS
- 2) THOROUGHLY MIX PEAT IN TOP 3-4" OF SOIL
- 3) BREAK UP EXISTING SOIL TO A DEPTH OF 24"
- 4) PROVIDE NEW TOPSOIL TO A DEPTH OF 12"

SHRUB PLANTING NOTES:

- 1) SET SHRUB AT SAME DEPTH AT WHICH IT GREW IN THE FIELD OR CONTAINER
- 2) PRUNE, THIN & SHAPE SHRUBS IN ACCORDANCE w/ STANDARD HORTICULTURAL PRACTICE

INITIAL WATERING:

- 1) WHEN BACKFILL IS 2/3 COMPLETE, WATER THOROUGHLY UNTIL NO MORE IS ABSORBED



3 PLANTING INSTALLATION DETAILS

SCALE: NTS

Landscape Calculations - Non-Residential

Street Trees - 40' max. on center along public street frontage (Excluding Driveways):
 Entry Road = 206 LF. 5 Trees required. 5 Trees provided.
 188th street has overhead power lines, so small trees need to be planted at 25' on center.
 188th Street = 541 LF. 22 Small Trees required. 22 Small Trees provided.

Parking Area Landscaping:
 1 large or medium tree for each 40 spaces. 402 spaces provided - 10 trees required.
 1 shrub for every 5 linear feet of perimeter buffer along frontage/street side.
 409 L.F. Parking Lot Perimeter. 82 shrubs required. 82 shrubs provided.
 1 large or medium tree for every 50 linear feet of perimeter buffer.
 409 L.F. Parking Lot Perimeter. 8 trees required. 8 trees provided.
 50% reduction if designed with 2.5' - 4' decorative wall or fence complementing the architecture and materials of the building along the street side. (none proposed)

Foundation Plantings:
 Except for buildings permitted within 10' of ROW, foundation planting areas shall exist along at least 25% of street facing facades and be at least 8' deep.
 1 small tree for every 40 LF of foundation. 207 LF of foundation - 6 Small trees Required.
 1 shrub for every 10 LF of foundation. 207 LF of foundation - 21 Shrubs Required.

Other Open Space Areas:
 1 tree per 10,000 s.f. 267,114sf 28 Trees Required 28 Trees Provided
 1 shrub per 5,000 s.f. 267,114sf 53 Shrubs Required 53 Shrubs Provided

Buffer Planting Requirements:
 Adjacent uses are similar, so no buffer plantings are required.

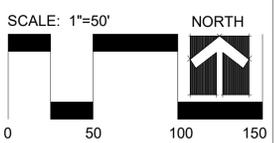
Trash enclosures, Electrical and Mechanical equipment, Utility Screening:
 All of the above shall be screened from streets or adjacent property with dense evergreen vegetation, a decorative opaque fence or wall complementing the architectural details and materials of the building, or architectural features of the building, or a combination.

69 TOTAL LARGE/MEDIUM TREES REQUIRED FOR PROJECT
33 TOTAL SMALL TREES REQUIRED FOR PROJECT
141 TOTAL SHRUBS REQUIRED FOR PROJECT



CLIENT
 New Life Church
 188th and Gardner Rd.
 Gardner, KS

PROJECT
 New Life Church
 188th and Gardner Rd.
 Gardner, KS



Date: 2.14.2020
 Project #: 585
 Landscape Plan

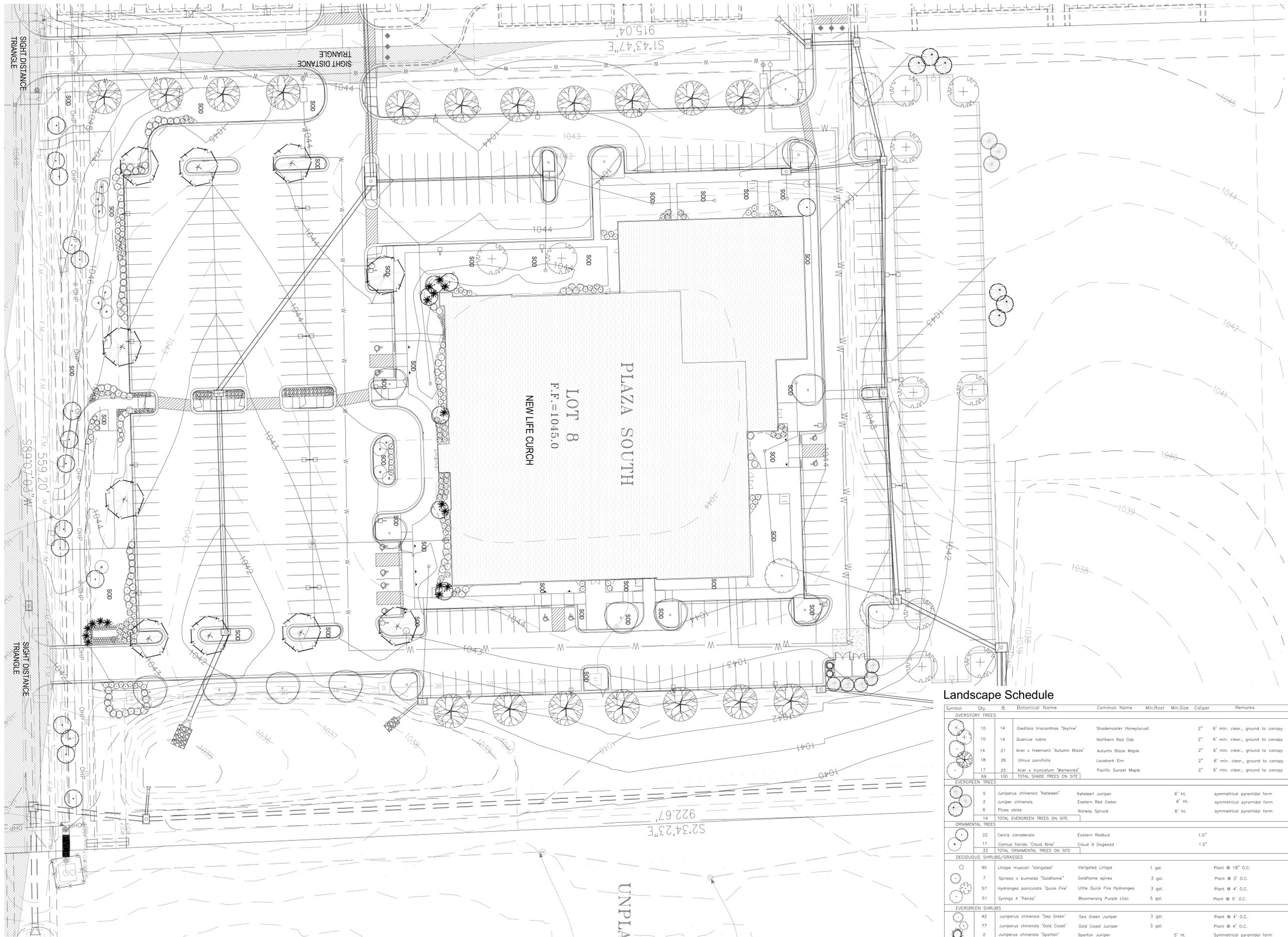
1 OVERALL SITE LANDSCAPE PLAN

SCALE: 1"=50'-0"



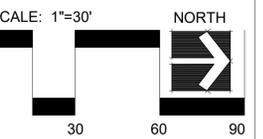
CLIENT
 New Life Church
 188th and Gardner Rd.
 Gardner, KS

PROJECT
 New Life Church
 188th and Gardner Rd.
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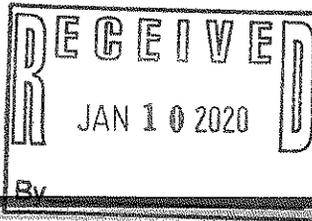
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| Symbol | Qty. | % | Botanical Name | Common Name | Min.Root | Min.Size | Caliper | Remarks |
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| | 3 | | Juniperus chinensis | Eastern Red Cedar | | 6' ht. | | symmetrical pyramidal form |
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| ORNAMENTAL TREES | | | | | | | | |
| | 22 | | Cercis canadensis | Eastern Redbud | | | 1.5" | |
| | 11 | | Cornus florida "Cloud Nine" | Cloud 9 Dogwood | | | 1.5" | |
| | 33 | | TOTAL ORNAMENTAL TREES ON SITE | | | | | |
| DECIDUOUS SHRUBS/GRASSES | | | | | | | | |
| | 95 | | Loropetalum muscarii "Variegated" | Variegated Loropetalum | | 1 gal. | | Plant @ 18" O.C. |
| | 7 | | Spiraea x bumalda "Goldflame" | Goldflame spiraea | | 3 gal. | | Plant @ 3' O.C. |
| | 57 | | Hydrangea paniculata "Quick Fire" | Little Quick Fire Hydrangea | | 3 gal. | | Plant @ 4' O.C. |
| | 51 | | Syringa X "Penda" | Bloomerang Purple Lilac | | 5 gal. | | Plant @ 5' O.C. |
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| GROUNDCOVERS AND GRASSES | | | | | | | | |
| | 17 | | Juniperus horizontalis "Wiltoni" | Blue Rug Juniper | | 1 gal. | | Plant @ 24" O.C. |
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| | 404 | | TOTAL SHRUBS/GRASSES ON SITE | | | | | |



Date: 2.14.2020
 Project #: 585
 Landscape Plan





**SITE PLAN AND DESIGN REVIEW
FINAL DEVELOPMENT PLAN
APPLICATION**

Pre-App Date _____
Fee \$300 pd.
File No. FDP-20-01

OWNER INFORMATION

Name(s) New Life Community Church, Inc.
Contact Rick George
Address 17935 Moonlight Road
City Gardner State KS Zip 66030
Phone 913-856-5683 Email rick@newlifegardner.com

APPLICANT/AGENT INFORMATION

Name(s) Phelps Engineering, Inc.
Contact Doug Ubben, Jr.
Address 1270 N. Winchester
City Olathe State KS Zip 66061
Phone 913-393-1155 Email dougubben@phelpsengineering.com

SITE INFORMATION

Property Address/Location: 188th and Gardner Road
Legal Description (Attach If Necessary) See Attached.
Number of Existing Lots 1 Number of Proposed Lots 1
Total Site Area 11.65 Acres Present Zoning ACP-2
Proposed Use Church Present Land Use Agriculture
Proposed Street Design Type(s) & Class N/A
Proposed Type(s) Open & Civic Space Shelter's and benches along 188th Street
Proposed Frontage Type(s) Terrace
Proposed Building Types(s) Prominent Civic

SIGNATURE

I/We, the undersigned am/are the **(owner(s)) (duly authorized agent)**, (Circle One) of the aforementioned property. By execution of my/our signature, I/we do hereby officially apply for a site plan and design review or final development plan as indicated above.

Signature(s): Date 1/10/20
Date _____

SITE PLAN AND DESIGN REVIEW, AND FINAL DEVELOPMENT PLAN APPLICATION CHECKLIST

APPLICATION SUBMITTAL REQUIREMENTS

- | Yes | No | |
|-------------------------------------|-------------------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 1. Complete application packet |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 2. Application fee |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 3. 10 complete sets of full sized plans printed including color elevations, folded |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 4. Digital copies (PDF) of the completed application, plans, and legal description |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 5. Copy of all covenants and restrictions applicable to the development, if applicable. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6. Sign posting affidavit. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 7. Evidence of the establishment of the agency for the ownership and maintenance of any common open space and all assurances of the financial and administrative ability of such agency or document dedicating the facilities to the city. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 8. Deeds of dedication for all rights-of-way or easements required as a result of preliminary development plan approval if conveyance thereof is not to be made by plat or by the filing of the final development plan. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 9. Evidence of satisfaction of any conditions of the preliminary development plan approval which were conditions precedent to consideration of the final development plan. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 10. Final Stormwater Management Plan (2 printed and 1 digital copy) Memo |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 11. Final Traffic Impact Study (TIS) as required by the Access Management Code. (2 printed and 1 digital copy) Memo |

PLAN REQUIREMENTS

- | | | |
|-------------------------------------|--------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 1. Vicinity map to scale with north point showing railroads, major streams or rivers, and public streets in the vicinity of the site. (Suggested scale of 1" = 1000'.) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 2. Boundary lines of the subdivision shall be enclosed with one continuous bold line, showing approximate dimensions (bearings and distances). |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 3. Scale, legend, and north arrow clearly shown, with orientation at top or left as north (not less than 1"=100' scale). |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 4. Dates of plan preparation and/or plan revisions. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 5. Ownership, zoning, and land use of the site and surrounding properties within 200 feet; both existing and proposed. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 6. Names, addresses, and phone numbers of all companies, firms, or individuals involved in the preparation of the plan (i.e. developer, property owner, architect, landscape architect, planner, engineer, surveyor, etc.) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 7. Setback lines: building and parking with dimensions in feet. |

- | Yes | No | |
|-------------------------------------|-------------------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 8. Setback lines: building and parking with dimensions in feet. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 9. Lots and tracts identified clearly, with blocks numbered or lettered boldly and clearly in the center of the block, and lot dimensions with bearings and distances, and area in square feet and acres. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 10. Note on the plan indicating intended ownership, purpose, and maintenance responsibilities for any parcels labeled as tracts. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 11. Setback lines: building and parking with dimensions in feet. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 12. Location of existing open space, alleys, parks, streams, ponds, vegetation or other similar features within plan area, and whether they are to be retained or removed. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 13. Existing utilities, including sanitary sewer, force main, water main, gas mains, culverts and storm sewer pipe, street lights, electric conduits, and invert elevations of sewers at points of proposed connection. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 14. Proposed street network, including right-of-way, bearings, tangents, dimensions, and horizontal and vertical curvature data along the centerline of each street. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 15. All public streets within the plan conform to the applicable minimum design standards set forth in the Land Development Code and Technical Specifications. Design of crosswalks, on street parking, shoulder, pavement and lane dimensions. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16. Intersection site distance analysis. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 17. Driveways, parking lots and stalls, aisles, and loading and service areas and docks and dimensions. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 18. Median breaks and turning lanes, including sizes and radii; both existing and proposed. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 19. Vehicle maneuvering/turning templates reflecting the site can accommodate a minimum SU-30 class vehicles (for emergency access to all areas of the site), and the appropriate site-design vehicle for any other special areas of the site (such as delivery or dock areas, etc.), as necessary. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 20. Existing and proposed sidewalks and/or trail locations including proposed widths. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 21. Proposed utilities, including approximate location of sanitary sewer, water main, and street lights. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 22. Existing and proposed easements with dimensions. Existing easements shall be labeled with book and page number. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 23. Any area within a federally designated floodplain. Location, stations, and elevations of the 100-year floodplain within the plan area and 100-year elevations at rear lot corners adjacent to FEMA and Shaded Zone X floodplains. The source of the floodplain information shall be clearly labeled (example: FIRM, Map #20091C0041D, September 27, 1991). |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 24. Stream corridor boundary and dimensions. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 25. Phasing Plan, if applicable. |

- | Yes | No | |
|-------------------------------------|--------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 26. Planned amenities , such as fountains, art, outdoor seating, waste receptacles, etc. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 27. Any buildings within the plan area which are existing or proposed, with status indicated including dimensions (i.e. to remain, remodel, new, to be demolished as part of Phase 2, etc.). |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 28. Distances between all buildings , between buildings and property lines, and between parking areas and property lines. |
| X | | 29. Existing Topography and Proposed Grading of the area contained in the plan area and within 20 feet of the boundary shown by 2-foot contour intervals. Contour lines shall be legible but not overpowering. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 30. Building elevations depicting the architectural style, size, exterior construction materials, and colors for each type of building proposed, and dimensions. If an architectural theme is planned, elaboration on the intent and extent of the scheme and details shall be provided. Elevations shall provide sufficient information to determine relationships between various elements, building height, proportion, bedroom counts, approximate square footage, etc. Rooftop and ground-mounted mechanical equipment shall be shown on elevations. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 31. Screen walls, fences, trash enclosures, and mail kiosks (existing and proposed), including location, height, and materials. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 32. Table indicating lots, land areas, buildings, number of stories, building coverage, and all other quantities relative to the submitted plan that are required to determine compliance with City codes. For commercial buildings, indicate service floor areas and number of tenant spaces, if applicable. For residential buildings, indicate dwelling units; if multiple building types, provide an additional table indicating dwelling units by building type. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 33. Table indicating required and proposed parking spaces. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 34. Landscaping plan and table indicating all proposed landscaping, noting common and botanical names, numbers, and planting sizes. Note all other areas to be sodded. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 35. All exterior sign locations. Include elevations and details. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 36. All outside lighting facilities: Location, height, wattage, and type including shielding, for buildings, parking lots and outdoor storage areas. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 37. Outdoor storage areas , including location, dimensions and design. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 38. Planned amenities , such as fountains, art, outdoor seating, waste receptacles, etc. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 39. Preliminary design and location of all proposed storm drainage conveyance, detention and treatment facilities and locations of existing drainage facilities. |

I hereby submit all information required for a site plan and design review, or final development plan application review. I understand that failure to provide the required information may result in a postponement of my request for review until all information has been submitted.

 Signature of Applicant

1/10/20

 Date